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www.stantondahl.com.au

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Rev	Issue	Date
01	Issue for Development Application	01/12/20
02	Revised DA	11/03/21
03	Revised DA - Council RFI	24/03/21


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BlueCHP

Residential Apartments

20 & 22 Mindarie Street &  
30 Pinaroo Place,  
Lane Cove North, NSW

Drawn: AA  
Checked: AT  
Plot date: 24/3/21

Scale: as noted @ A1

Project No:  
2088.16

Drawing No;      Revision#;  
DA00              03

Cover Sheet &  
Location Plan

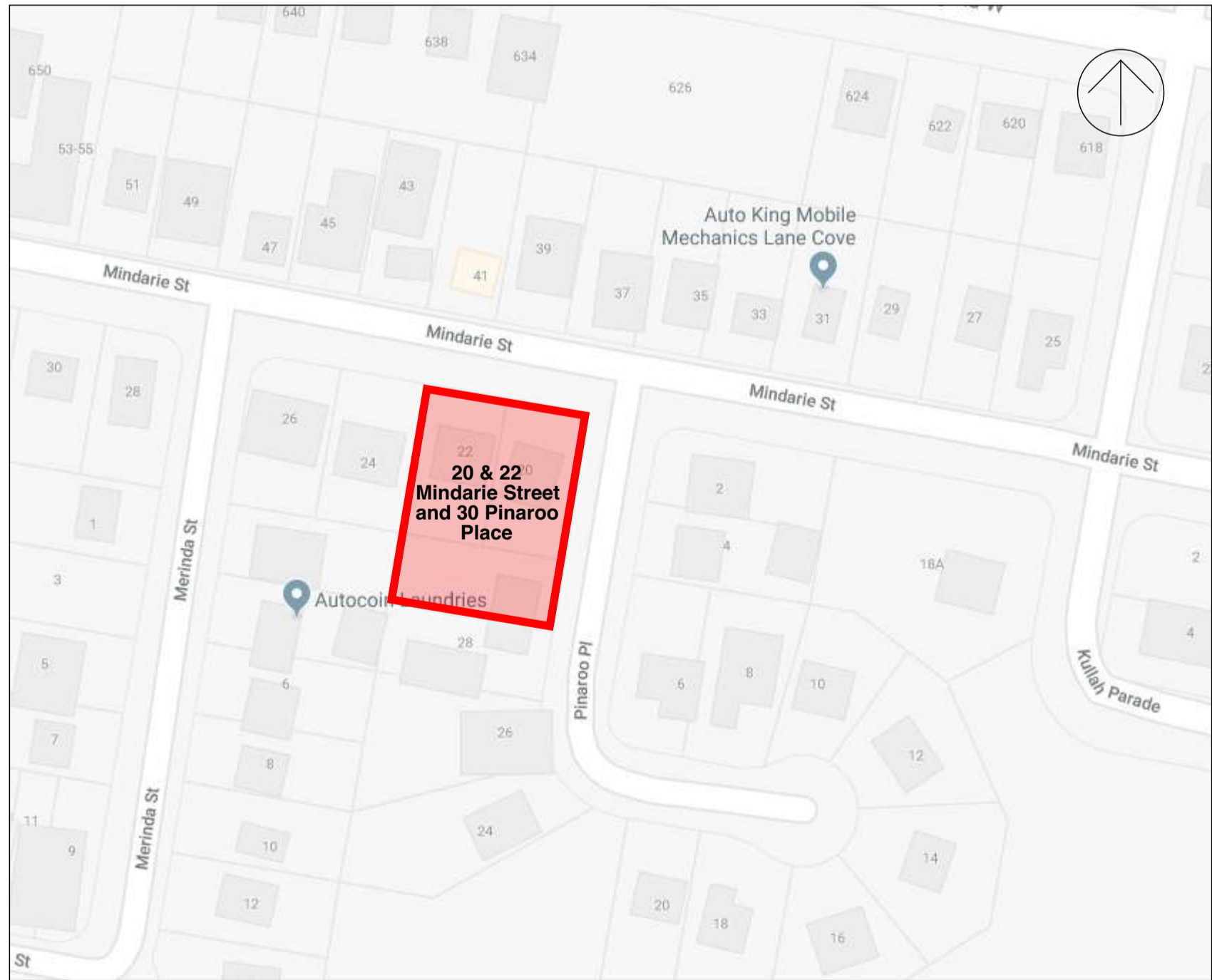
BlueCHP Residential Apartments  
20 & 22 Mindarie Street & 30 Pinaroo Place, Lane Cove North, NSW  
Revised Development Application

Architectural Drawing Schedule

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Perspective view - Corner of Mindarie Street & Pinaroo Place



01 Location Plan  
not to scale



Perspective view - Mindarie Street



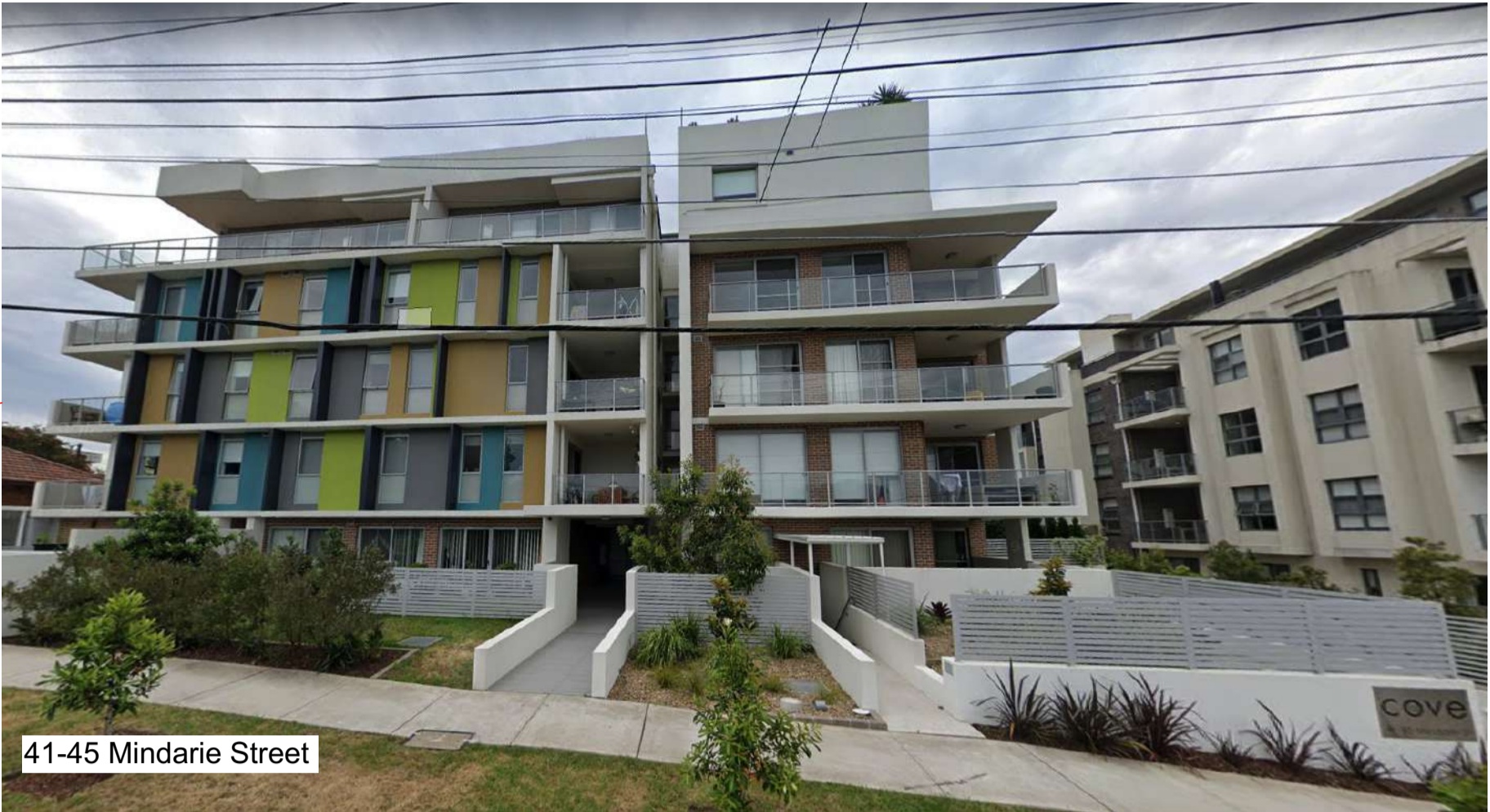
01 Site & Block Analysis  
1:500



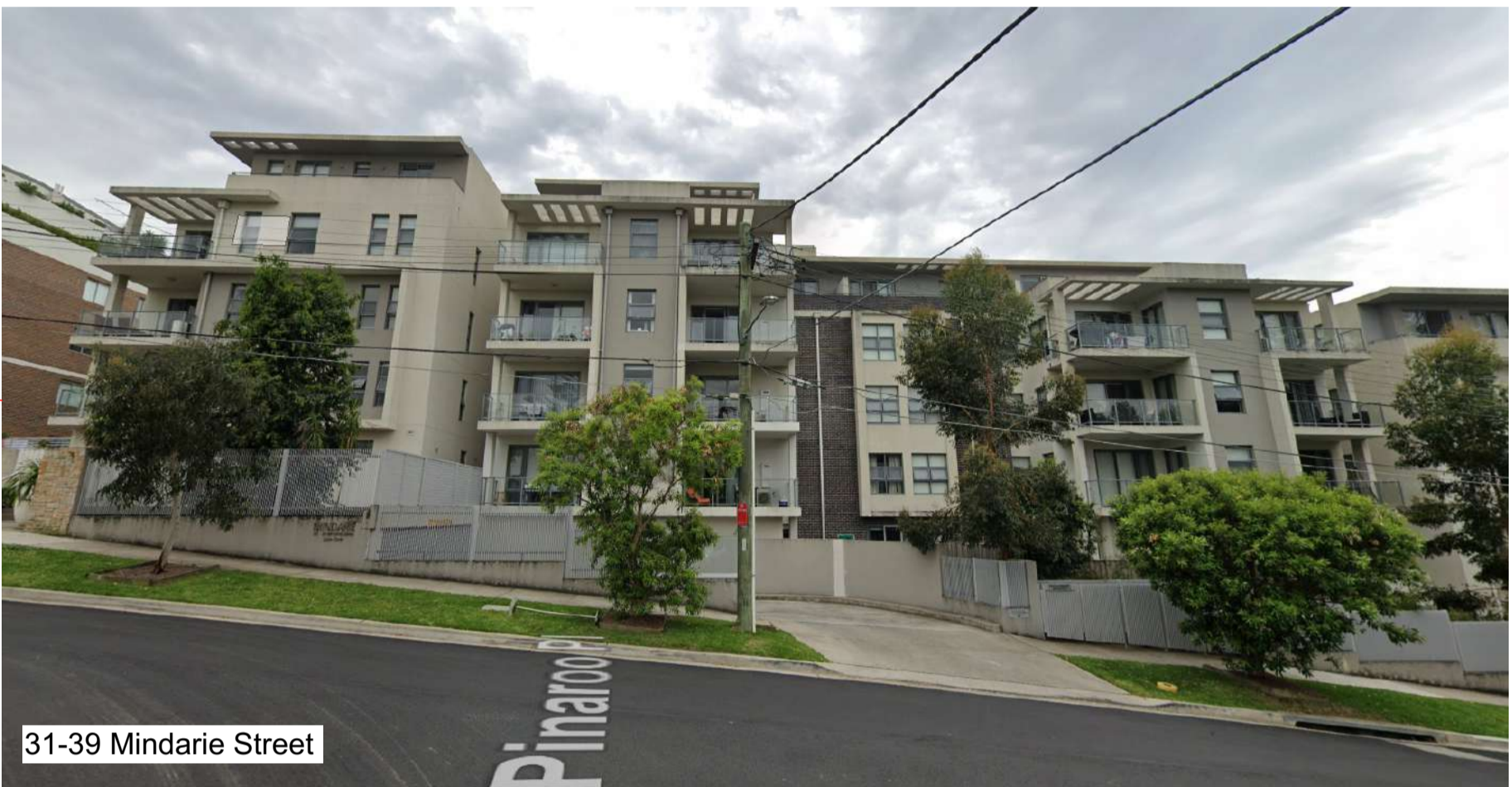
26 and 28 Pinaroo Place



30 Pinaroo Place (Site)



41-45 Mindarie Street



31-39 Mindarie Street



20 and 22 Mindarie Street (Site)



2-4 Pinaroo Place

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0 1000 2000 3000 4000 5000 10 000  
scale: 1:100 @A1

Stanton Dahl & Associates Pty Limited, ABN 32 602 261 396  
Nominated Architects - DP Stanton 3642, S.M Evans 7686  
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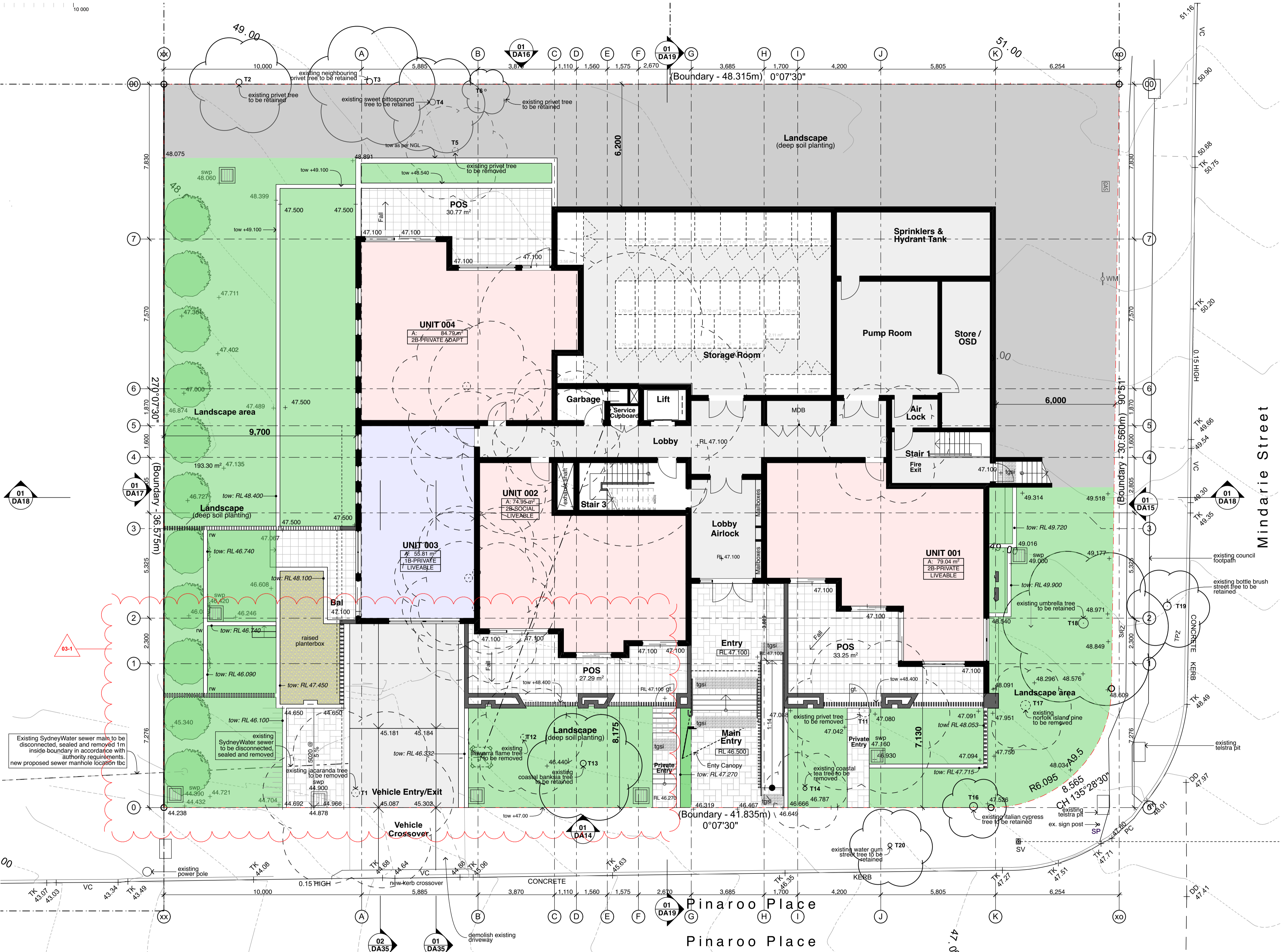
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Drawing No; Revision#;  
DA02 03

Site & External Works  
Plan



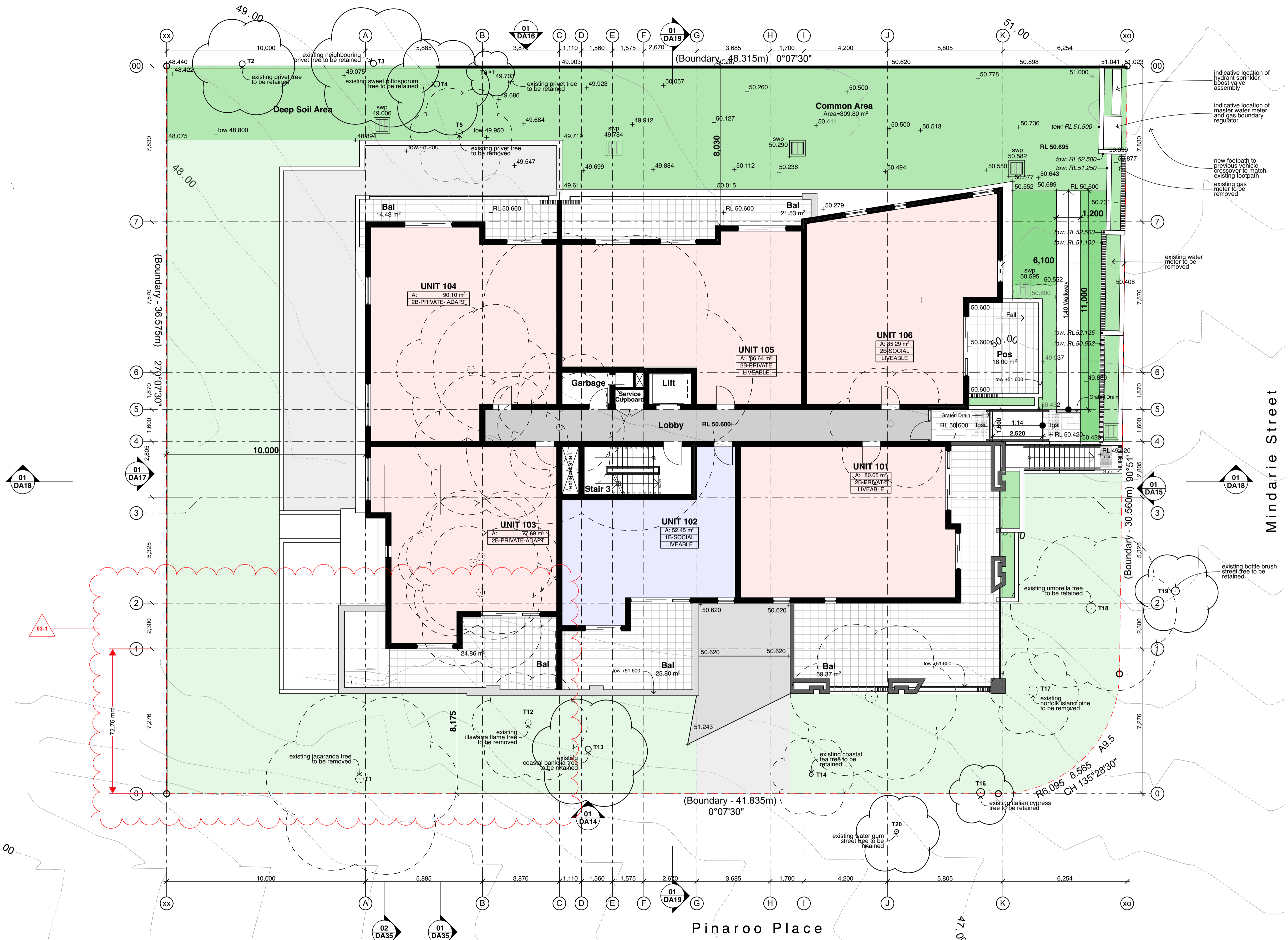
## 01 Site & External Works - Ground 1:100

Legend (external work / site plan) note: drawing may not contain all items listed below													
	existing trees to be retained		ex. contours & banking line	ac	air conditioner condenser	dp	downpipe	kr	kerb ramp	tow	top of wall	acc	accessible
	existing trees to be removed		ex. contours & banking line	adh	ageing, disability & home care	dnp	doorpost	lb	letter box	w/c	wood float concrete	adh	ageing, disability & home care
	proposed new trees		ex. contours & banking line	ap	access panel	ex	existing	ofc	off form concrete	ws	wheel stop	ap	access panel
			ex. contours & banking line	bal(1)	balustrade (type)	fb(1)	facebrick work (type)	pmp	permeable paving			btc	broom finished concrete
			ex. contours & banking line	btc	broom finished concrete	ft(1)	fence (type)	pp	power pole			boe	brick on edge
			ex. contours & banking line	bol	bollard	gb	garbage bin	rw(1)	retaining wall (type)			bol	bollard
			ex. contours & banking line	cc(1)	coloured concrete (type)	gt	gate	rwo	rainwater outlet			cc(1)	coloured concrete (type)
			ex. contours & banking line	ctf(1)	ceramic floor tile (type)	gtd	grated drain	rwt	rainwater tank			ctf(1)	ceramic floor tile (type)
			ex. contours & banking line	cl	clothes line	hr(1)	handrail (type)	stc	steel float concrete			cl	clothes line
			ex. contours & banking line	col	column	ht	hose tap	swp	storm water pit			col	column
			ex. contours & banking line			hwu	hot water unit	tfc	trowel finished concrete				
			ex. contours & banking line			hyd	hydrant	tgsl	tactile ground surface indicator				

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01 Site & External Works - Level 1  
1:100

Legend (external work / site plan)		Legend (external work / site plan)		Legend (external work / site plan)		Legend (external work / site plan)		Legend (external work / site plan)	
	existing trees to be retained		existing trees to be removed		proposed new trees		existing levels		proposed levels
	ex. contours & banking line		existing levels		proposed levels		existing levels		proposed levels
	existing levels		proposed levels		existing levels		proposed levels		existing levels
	existing levels		proposed levels		existing levels		proposed levels		existing levels

ac	air conditioner condenser	dp	downpipe	kr	kerb ramp	tow	top of wall
acc	accessible	dnp	doorpost	lb	letter box	w/c	wood float concrete
adh	ageing, disability & home care	ex	existing	o/c	off form concrete	ws	wheel stop
ap	access panel	fb(1)	facebrick work (type)	pmp	permeable paving		
bal(1)	balustrade (type)	fp	fence (type)	pp	power pole		
bfc	broom finished concrete	gb	garbage bin	rw(1)	retaining wall (type)		
boe	brick on edge	gt	gate	rwo	rainwater outlet		
bol	bollard	gtd	grated drain	rwt	rainwater tank		
cc(1)	coloured concrete (type)	hr(1)	handrail (type)	stc	steel float concrete		
ctf(1)	ceramic floor tile (type)	ht	hose tap	swp	storm water pit		
cl	clothes line	hwu	hot water unit	tfc	trowel finished concrete		
col	column	hyd	hydrant	tgsl	tactile ground surface indicator		

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Drawing No: DA03  
Revision#: 03

Site & External Works  
Plan

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Drawing No; DA04  
Revision#; 03

Development Data

DEVELOPMENT DATA				
ADDRESS	20-22 Mindarie Street & 30 Pinaroo Place, Lane Cove North			
SITE AREA	1,750.8m2			
NUMBER OF EXISTING LOTS	Lots 81, 82 and 83 DP:35865			
FSR	Permissible FSR 1.8:1 (3151.48 m2) FSR Bonus 0.237:1 (643.05 m2) Max. FSR 2.03:1 (3566.38 m2) Proposed FSR 1.526:1			
GFA*	Ground	372.11	m2	
	Level 1	525.76	m2	
	Level 2	540.6	m2	
	Level 3	535.83	m2	
	Level 4	380.18	m2	
	Level 5	317.99	m2	
	TOTAL	2672.47	m2	
*GFA measured to inner face of external enclosing wall, excluding lifts, stairs, services & voids.				
YIELD (70%, 30%)	Bedroom No.	Private (BlueCHP)	Social (LAHC)	TOTAL
	1 Bed Unit	3	3	6
	2 Bed Unit	15	6	21
	3 Bed Unit	3	0	3
	TOTAL	21	9	30
NUMBER OF DWELLINGS	Proposed Residential Apartment Building (x 30 Units) including 6 adaptable + Basement Parking (2 Levels)			
BUILDING HEIGHT	Control	Requirement	Proposed	
	Lane Cove LEP	17.5m	21.38m	
PARKING	Lane Cove DCP + ARHSEPP	ARHSEPP 0.4 space x 1 Bed Unit (3x0.4) 0.5 spaces x 2 Bed Unit (6x0.5) Lane Cove DCP 1 space x 1 Bed Unit (4x1) 1.5 spaces x 2 Bed Unit (15x1.5) 2 spaces x 3 Bed Unit (5x2) Visitors 1 x 4 Units (24/4) Carwash Bay x 1	43 spaces (inc. carwash bay (requirement 43.25 + carwash bay).	
SETBACKS	LANE COVE DCP + SEPP 65	Front (street)	7.5m	6.0-10.1m (to building)
		Side	6m (Floors 1-4) 9m (Floors 5-8)	6.2m (Floors 1-4) 9.5m (Floors 5-8)
		Rear	6m (Floors 1-4) 9m (Floors 5-8)	9.5m (Floors 1-3) 12.6m (Floor 4) 14.9m (Floor 5) 19.6mm (Roof)
LANDSCAPE AREA	Lane Cove DCP	min. 40% of site area (700m2)	734.24 m2 (41.9 % of site area)	
DEEP SOIL	Lane Cove DCP	min. 25% of site area (438m2)	556.74 m2 (31.7% of site area)	
DEEP SOIL	SEPP 65	7% of site area (122.5m2) 6m min dimension	359.95 m2 (20.5% of site area)	
COMMON AREA	SEPP 65	Communal open space has a minimum area equal to 25% of the site (438m2)	282.77 m2 (site) + 158.24 m2 (rooftop area) = 441 m2	
CROSS VENTILATION	SEPP 65	At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. (20 units)	Proposed: 20/ 30 Units (i.e. 66%)	
SOLAR ACCESS	SEPP 65	Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area (21 units)	Proposed: 21/ 30 Units (i.e. 70%)	

*dwelling floor area includes internal walls but excludes external walls.					
Dwellings	Number	Type	Beds	Area (m2)	Balcony (POS) (m2)
	Unit 001	Private	2	79.04	42
	Unit 002	Social	2	74.95	21
	Unit 003	Private	1	58.2	47
	Unit 004	Private/Adapt.	2	84.79	79
	Unit 101	Private	2	80.05	46
	Unit 102	Social	1	52.45	18
	Unit 103	Private/Adapt.	2	77.69	32
	Unit 104,204	Private/Adapt.	2	90.1	18
	Unit 105,205	Private	2	86.64	25
	Unit 106,206,307	Social	2	85.29	10
	Unit 201	Private	2	74.73	39
	Unit 202	Social	2	74.54	14
	Unit 203, 303	Private/Adapt.	2	77.69	19
	Unit 301	Private	2	74.73	41
	Unit 302	Private	2	75.54	16
	Unit 304	Social	1	54.25	11
	Unit 305	Social	1	56.26	16
	Unit 306	Private	1	59.29	16
	Unit 401	Social	2	74.73	41
	Unit 402	Private	1	50.83	14
	Unit 403	Private	3	103.85	12
	Unit 404, 503	Private	3	111.99	14
	Unit 501	Private	3	107.53	39
	Unit 502	Private	1	65.9	21.44
	Total Area	Private (m2)	Social (m2)		
	2409.69	1766.64	643.05		

Solar Access by Hour											
unit no.	Hours (am / pm)							0 hours	1 hours	2 hours +	3 hours +
	9	10	11	12	1	2	3				
U001										Y	
U002								Y			
U003								Y			
U004										Y	Y
U101										Y	
U102								Y			
U103								Y			
U104										Y	Y
U105										Y	Y
U106										Y	
U201										Y	
U202								Y			
U203								Y			
U204										Y	Y
U205										Y	Y
U206										Y	
U301										Y	
U302								Y			
U303								Y			
U304										Y	Y
U305										Y	Y
U306										Y	Y
U307										Y	
U401										Y	
U402								Y			
U403										Y	Y
U404										Y	Y
U501										Y	Y
U502										Y	Y
U503										Y	Y
Total								9	0	21	13

43.33%

Apartments Solar Access Summary				
			Required	
			No.	%
Apartments receiving 2 (or more) hours sun between 9am-3pm on the 21st June			21	min. 70%
Apartments receiving no direct sun between 9am-3pm on the 21st June			4.95	max. 15%

Solar Access Through External Opening  
Solar Access Through Skylight

0 1000 2000 3000 4000 5000 10 000  
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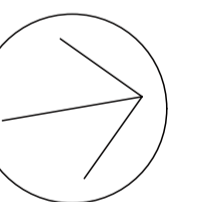
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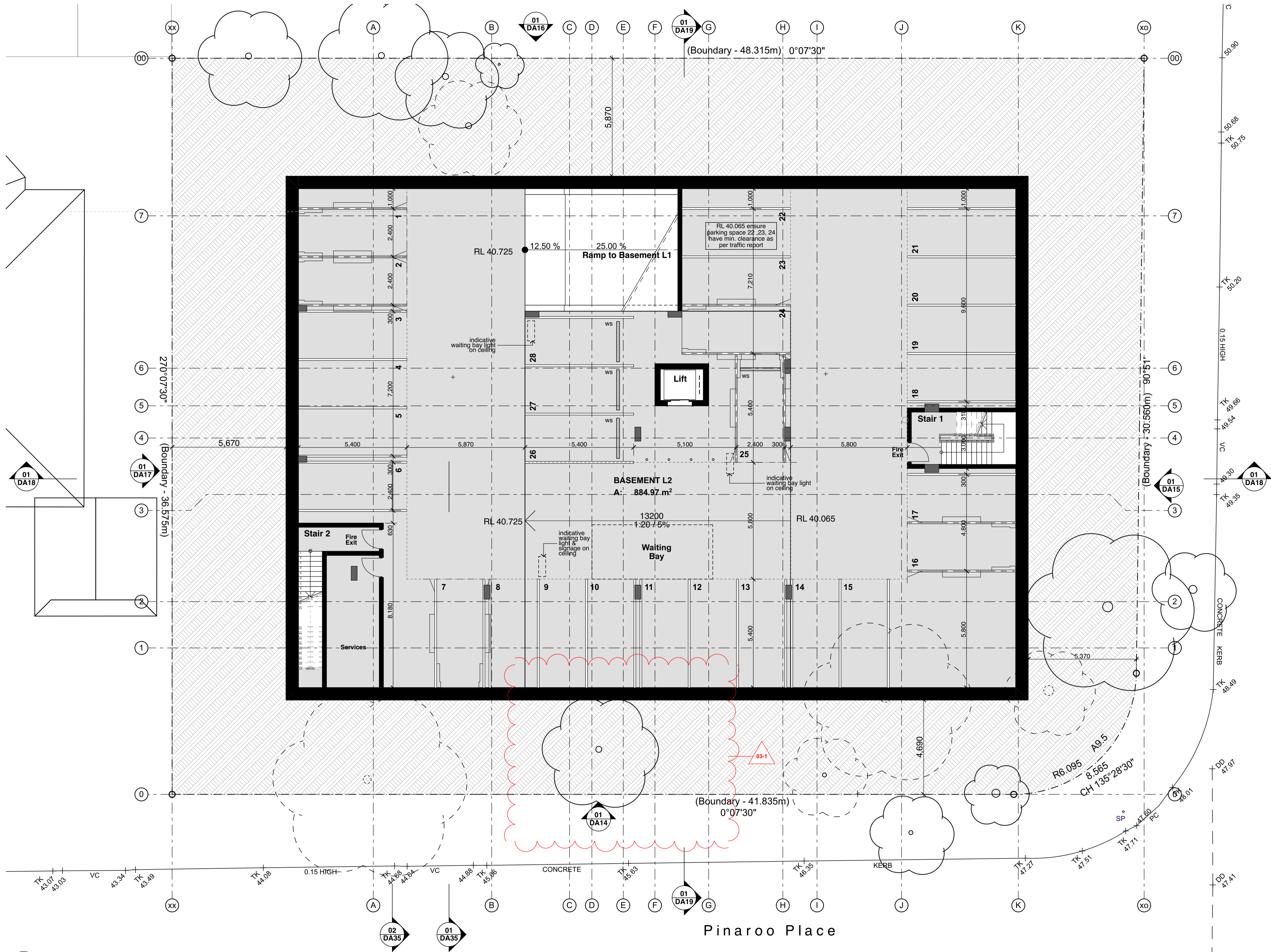
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Project No:

2088.16

Drawing No; DA05  
Revision#; 03

Floor Plans- Basement  
L2



01 Basement L2  
1:100

Legend (floor plans)  
note: drawing may not contain all items listed below

(DH) door numbers (as scheduled)  
(prefix ex. for existing door)

(WH) window numbers (as scheduled)  
(prefix ex. for existing window)

(a) → wall type (as scheduled)

ac air conditioner condenser  
acc accessible

adhc ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cht(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

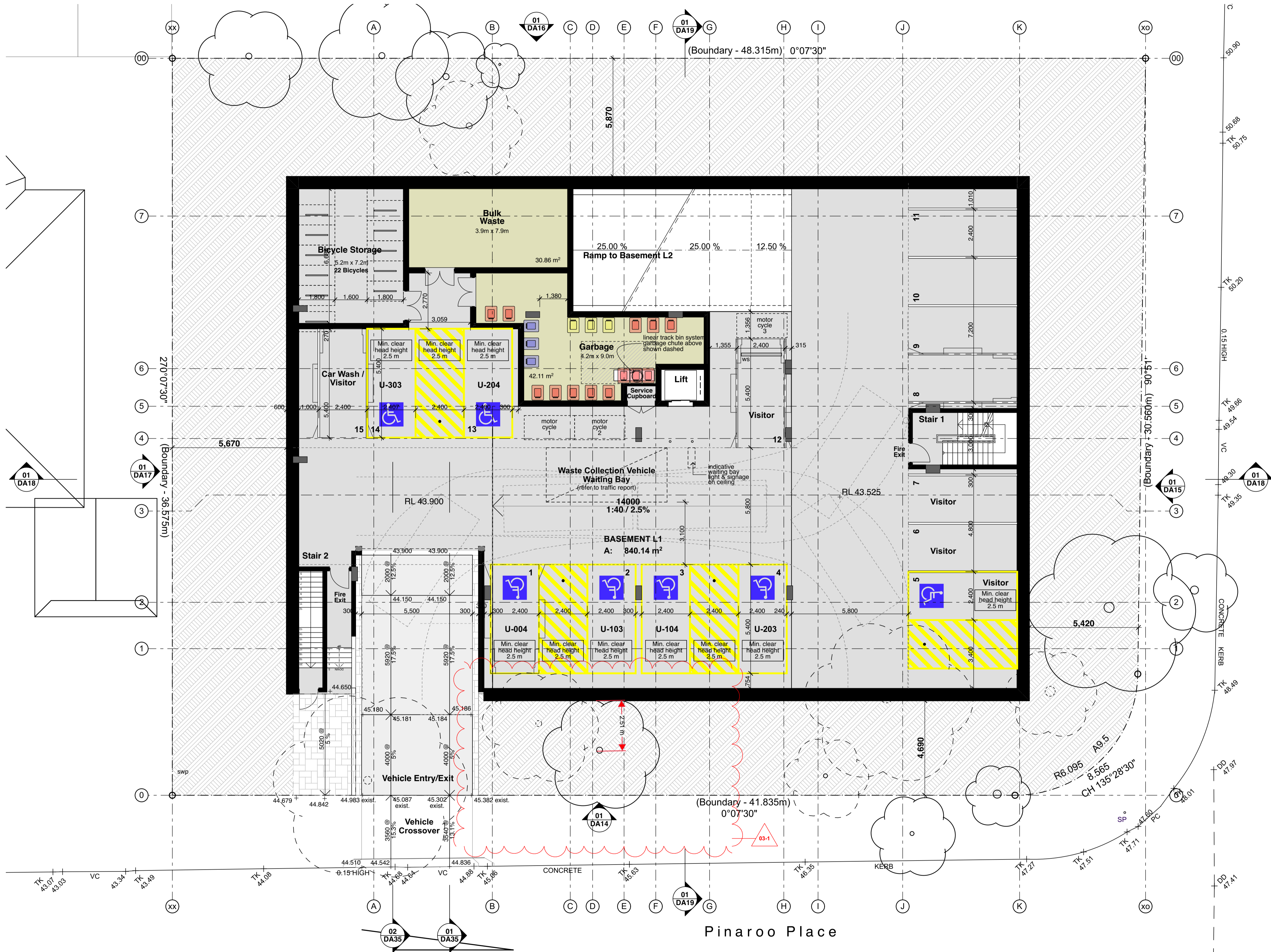
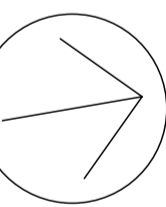
comms communication cabinet  
cpt(1) carpet (type)  
ct cooktop  
dp downpipe  
drp doorpost  
edb electrical distribution box  
ex. existing  
fb(1) face brickwork (type)  
fm floor mat  
fs fridge space  
fp feature panel

fw floor waste  
gb garbage bin  
gt gate  
gtd grated drain  
hr(1) handrail (type)  
ht hose tap  
hwu hot water unit  
hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robr wardrobe  
rw(1) retaining wall (type)  
rwt rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
shr shower  
sk skylight/skytube

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

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01 Basement L1  
1:100

Legend

(floor plans)  
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(DH) door numbers (as scheduled)  
(prefix ex. for existing door)

(WH) window numbers (as scheduled)  
(prefix ex. for existing window)

(a) wall type (as scheduled)

ac air conditioner condenser  
acc accessible

adhc ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cft(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

comms communication cabinet  
cpt(1) carpet (type)  
ct cooktop  
dp downpipe  
drp doorpost  
edb electrical distribution box  
ex. existing  
fb(1) face brickwork (type)  
fm floor mat  
fs fridge space  
fp feature panel

fw floor waste  
gb garbage bin  
gat gate  
gtd grated drain  
hr(1) handrail (type)  
ht hose tap  
hwu hot water unit  
hyd hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe wardrobe  
rw(1) retaining wall (type)  
rwt rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
lin skylight/skytube

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

swp storm water pit  
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vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
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swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
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ws wheel stop  
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swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
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wm washing machine space  
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Drawing No; Revision#;  
DA07 03

Floor Plans- Ground  
Level



01 Ground Floor Plan  
1:100

Legend

(floor plans)  
note: drawing may not contain all items listed below

(DN) door numbers (as scheduled)  
(prefix ex. for existing door)

(WN) window numbers (as scheduled)  
(prefix ex. for existing window)

(a) wall type (as scheduled)

ac air conditioner condenser  
acc accessible

adhc amb  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cht(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cht(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

comms communication cabinet  
cpt(1) carpet (type)  
ct countertop  
dp downpipe  
drp doorpost  
edeb existing electrical distribution box  
ex. existing  
fb(1) face brickwork (type)  
fm floor mat  
fs fridge space  
fp feature panel

fw floor waste  
gb garbage bin  
gl grate  
gtd grated drain  
hr(1) hose tap  
ht hot water unit  
hyd hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
rwb retaining wall (type)  
rwt rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
shr shower  
sk skylight/skytube

sl sliding door  
st stone  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

adhc amb  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cht(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cht(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

comms communication cabinet  
cpt(1) carpet (type)  
ct countertop  
dp downpipe  
drp doorpost  
edeb existing electrical distribution box  
ex. existing  
fb(1) face brickwork (type)  
fm floor mat  
fs fridge space  
fp feature panel

fw floor waste  
gb garbage bin  
gl grate  
gtd grated drain  
hr(1) hose tap  
ht hot water unit  
hyd hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
rwb retaining wall (type)  
rwt rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
shr shower  
sk skylight/skytube

sl sliding door  
st stone  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

adhc amb  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cht(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

0 1000 2000 3000 4000 5000 10 000  
scale: 1:100 @A1

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Rev	Issue	Date
01	Issue for Development	01/12/20
02	Application	11/03/21
03	Revised DA - Council RFI	24/03/21

Mindarie Street

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BlueCHPLimited  
AFFORDABLE HOUSING - FOUNDATION FOR LIFE

BlueCHP

Residential Apartments

20 & 22 Mindarie Street &  
30 Pinaroo Place,  
Lane Cove North, NSW

Drawn; AA  
Checked; AT  
Plot date; 24/3/21

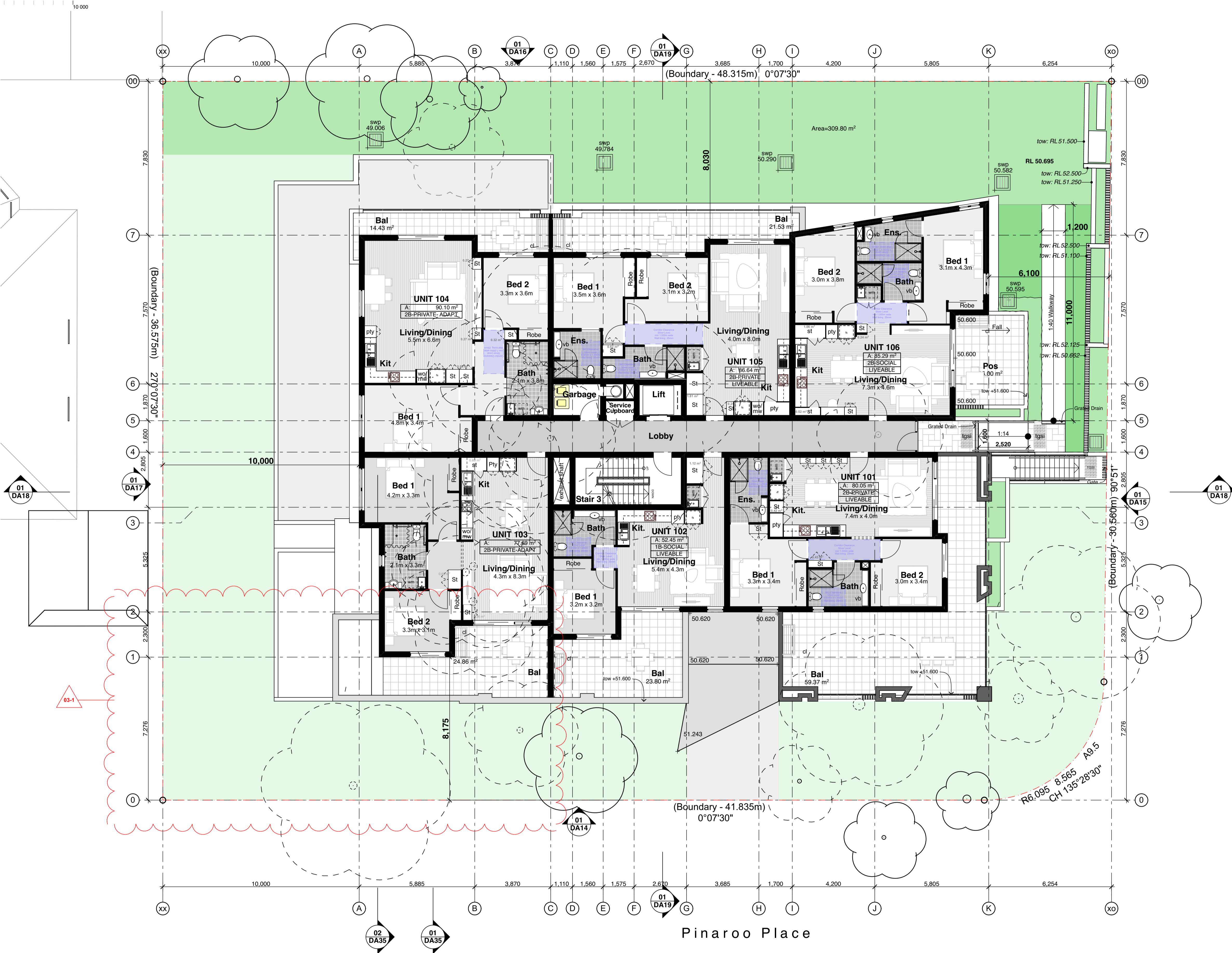
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Project No;  
2088.16

Drawing No;  
DA08

Revision#;  
03

Floor Plans- Level 01



01 Level 1 Floor Plan  
1:100

Legend (floor plans)

note: drawing may not contain all items listed below

(DN)	door numbers (as scheduled) (prefix ex. for existing door)
(WN)	window numbers (as scheduled) (prefix ex. for existing window)
(a) →	wall type (as scheduled)
ac	air conditioner condenser
acc	accessible

adhc	ageing, disability & home care
amb	ambulant
ap	access panel
bal(1)	balustrade (type)
bfc	broom finish concrete
bol	bollard
brm	broom cupboard
bsn	basin
cht(1)	ceramic floor tile (type)
cl	control joint
cl	clothes line
col	column

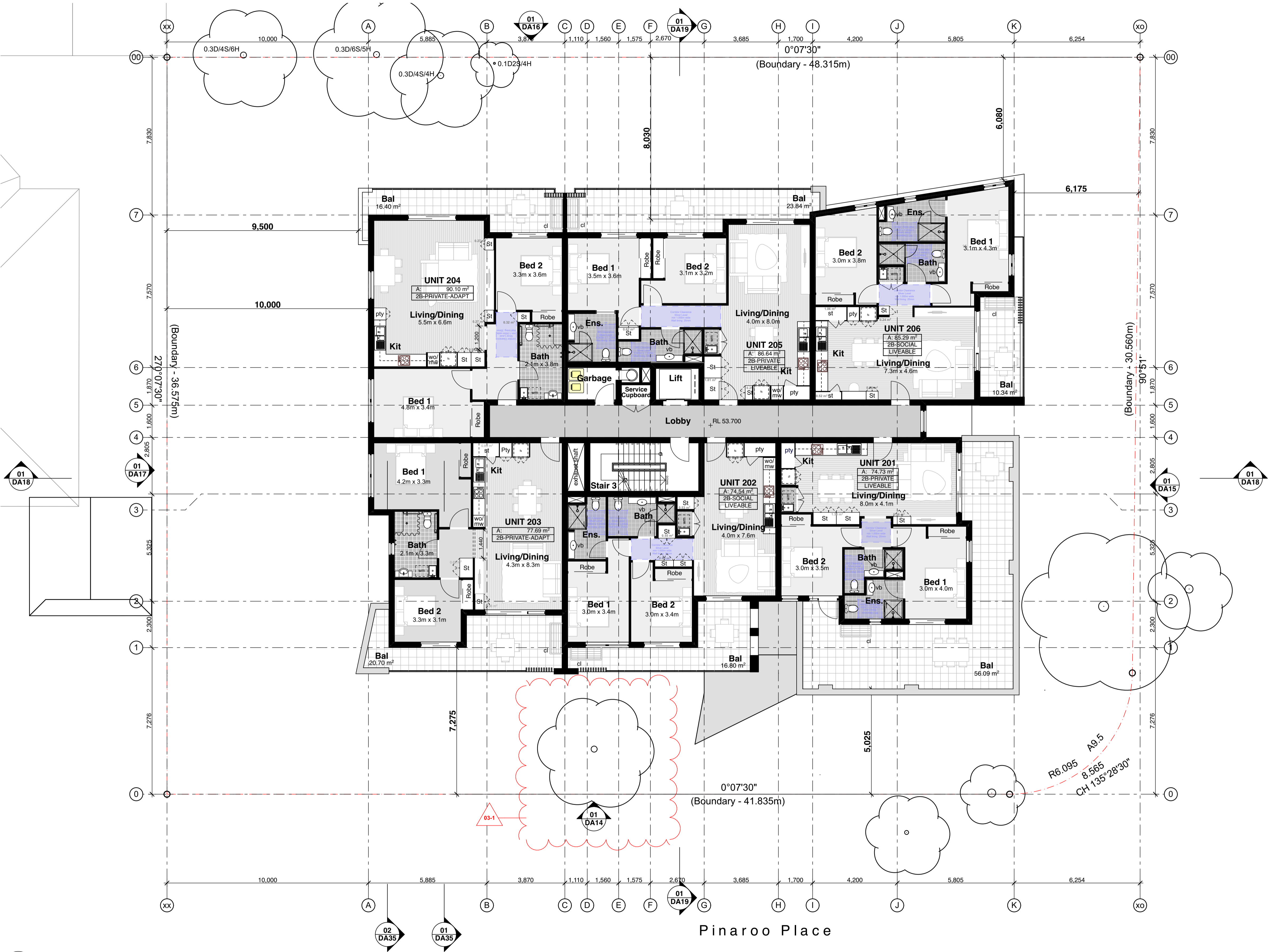
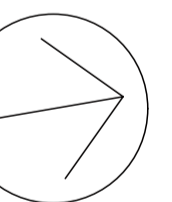
comms	communication cabinet
cap(1)	carpet (type)
ct	cooktop
dp	downpipe
drp	doorpost
hr(1)	handrail (type)
edb	electrical distribution box
ex.	existing
fb(1)	face brickwork (type)
fm	floor mat
fs	fridge space
fp	feature panel

fw	floor waste
gb	garbage bin
gl	gate
gtd	grated drain
hr(1)	handrail (type)
ht	hose tap
hwu	hot water unit
hyd	hydrant
kr	kerb ramp
lb	letter box
lin	linen cupboard
mw	microwave

ofc	off form concrete
pmp	permeable paving
ps	privacy screen
pty	partry
robo	wardrobe
rw(1)	retaining wall (type)
nwt	rainwater tank
snk	sink
sc	steel column
sfc	steel float concrete
shr	shower
sk	skylight/skytube

sl	sliding door
st	store
sv(1)	sheet vinyl (type)
swp	storm water pit
tgsl	tactile ground surface indicators
vp	vent pipe
wfc	wood float concrete
wm	washing machine space
wo	wall oven
ws	wheel stop
wcs	window casing

Rev	Issue	Date
01	Issue for Development	01/12/20
02	Application	11/03/21
03	Revised DA - Council RFI	24/03/21

01 Level 2 Floor Plan  
1:100

Legend

(floor plans)  
note: drawing may not contain all items listed below

(DN) door numbers (as scheduled)  
(prefix ex. for existing door)

(WN) window numbers (as scheduled)  
(prefix ex. for existing window)

(a) wall type (as scheduled)

ac air conditioner condenser  
acc accessible

adhc ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cht(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

comms communication cabinet  
cpt(1) carpet (type)  
cti countertop  
dp downpipe  
drp doorpost  
edb electrical distribution box  
ex. existing  
fb(1) face brickwork (type)  
fm floor mat  
fs fridge space  
fp feature panel

fw floor waste  
gb garbage bin  
gls gate  
gtd grated drain  
hr(1) hose tap  
ht hot water unit  
hyd hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
rrobe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
shr shower  
sk skylight/skytube

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

01

0 1000 2000 3000 4000 5000 10 000  
scale: 1:100 @A1

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Nominated Architects - DP Stanton 3642, S.M Evans 7686  
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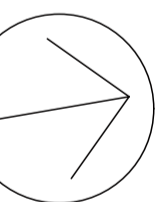
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01	Issue for Development	01/12/20
02	Revised DA	11/03/21
03	Revised DA - Council RFI	24/03/21


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BlueCHP

Residential Apartments

20 & 22 Mindarie Street &  
30 Pinaroo Place,  
Lane Cove North, NSW

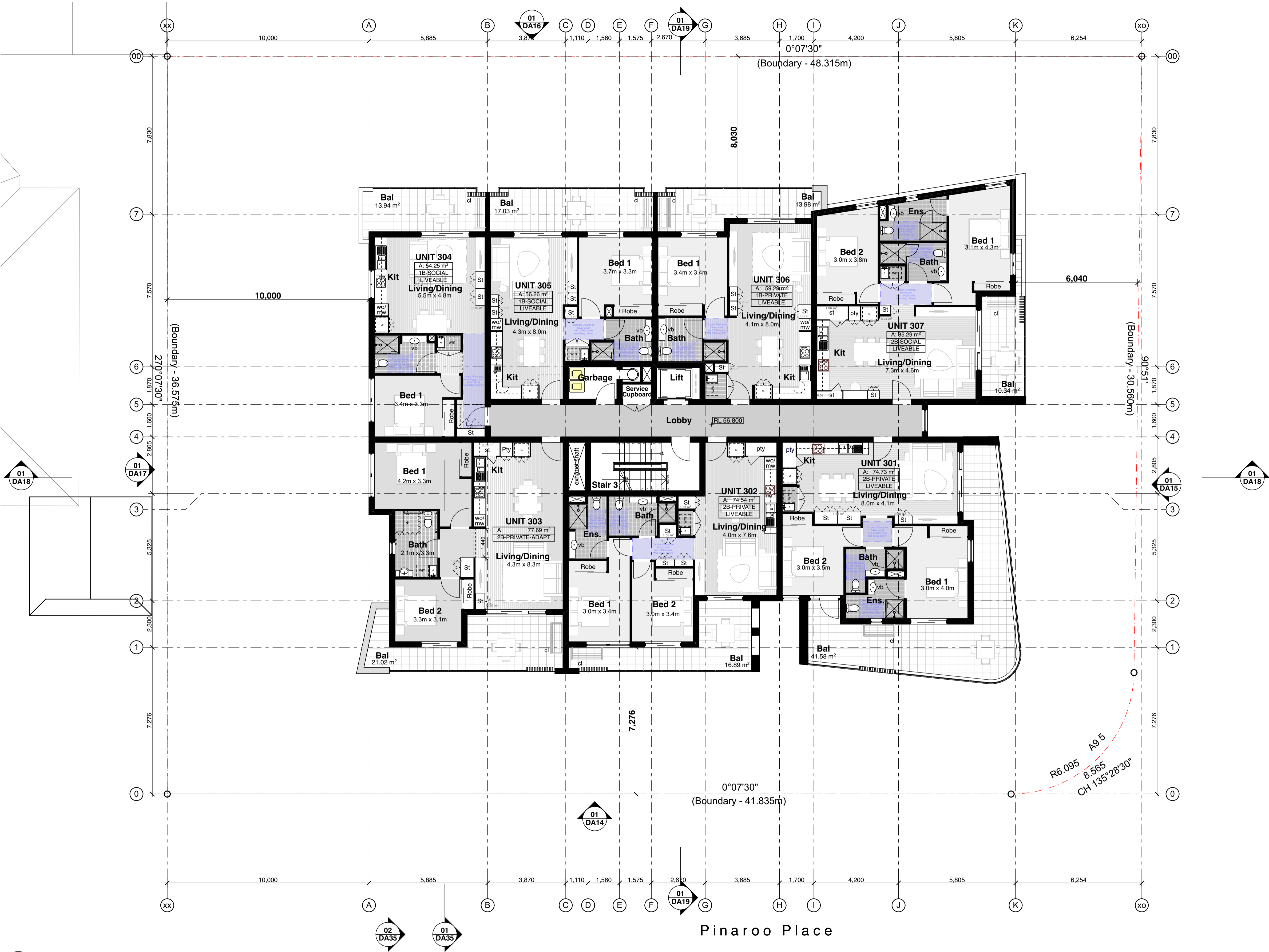
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Checked: AT  
Plot date: 24/3/21

Scale: 1:100 as noted @ A1

Project No:  
2088.16

Drawing No; Revision#;  
DA10 03

Floor Plans- Level 03



01 Level 3 Floor Plan  
1:100

Legend

(floor plans)  
note: drawing may not contain all items listed below

(DN) door numbers (as scheduled)  
(prefix ex. for existing door)

(WN) window numbers (as scheduled)  
(prefix ex. for existing window)

(a) wall type (as scheduled)

ac air conditioner condenser  
acc accessible

adhc ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cft(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

comms communication cabinet  
cpt(1) carpet (type)  
cti countertop  
dp downpipe  
drp doorpost  
edb electrical distribution box  
ex. existing  
fb(1) face brickwork (type)  
fm floor mat  
fs fridge space  
fp feature panel

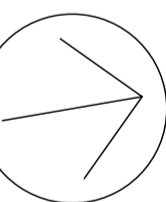
fw floor waste  
gb garbage bin  
gl gate  
gtd grated drain  
hr(1) handrail (type)  
ht hose tap  
hwu hot water unit  
hydr hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe wardrobe  
rw(1) retaining wall (type)  
rwt rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
shr shower  
sk skylight/skytube

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

Rev	Issue	Date
01	Issue for Development Application	01/12/20
02	Revised DA	11/03/21
03	Revised DA - Council RFI	24/03/21

01 Level 4 Floor Plan  
1:100

Legend

(floor plans)  
note: drawing may not contain all items listed below

(DH) door numbers (as scheduled)  
(prefix ex. for existing door)

(WH) window numbers (as scheduled)  
(prefix ex. for existing window)

(a) wall type (as scheduled)

ac air conditioner condenser  
acc accessible

adhc ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cft(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

comms communication cabinet  
cpt(1) carpet (type)  
ct cooktop  
dp downpipe  
drp doorpost  
edb electrical distribution box  
ex. existing  
fb(1) face brickwork (type)  
fm floor mat  
fs fridge space  
fp feature panel

fw floor waste  
gb garbage bin  
gt gate  
gtd grated drain  
hr(1) handrail (type)  
ht hose tap  
hwu hot water unit  
hyd hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

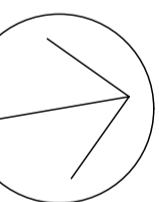
ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe retaining wall (type)  
rw(1) rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

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Rev	Issue	Date
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Residential Apartments

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Drawn; AA  
Checked; AT  
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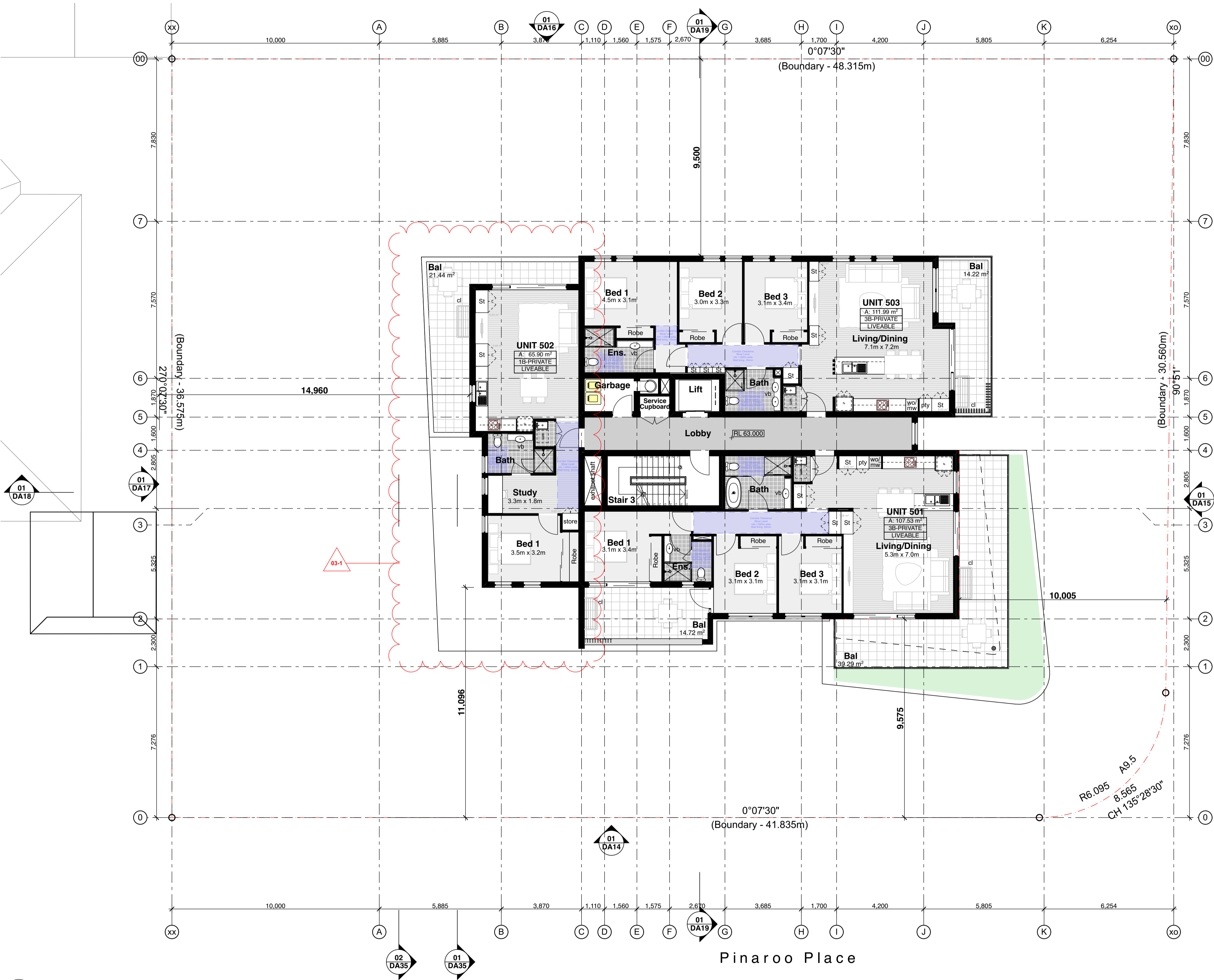
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Project No;

2088.16

Drawing No;      Revision#;  
DA12              03

Floor Plans- Level 05



01 Level 5 Floor Plan  
1:100

Legend (floor plans)

note: drawing may not contain all items listed below

(DH) door numbers (as scheduled)  
(prefix ex. for existing door)

(WH) window numbers (as scheduled)  
(prefix ex. for existing window)

(a) → wall type (as scheduled)

ac air conditioner condenser  
acc accessible

adhc ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cht(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

comms communication cabinet  
cpt(1) carpet (type)  
cti cooktop  
dp downpipe  
drp doorpost  
edb electrical distribution box  
ex. existing  
fb(1) face brickwork (type)  
fm floor mat  
fs fridge space  
fp feature panel

fw floor waste  
gb garbage bin  
gt gate  
gtd grated drain  
hr(1) handrail (type)  
ht hose tap  
hwu hot water unit  
hyd hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave

ofc off form concrete  
pmp permeable paving  
ps privacy screen  
pty pantry  
robe wardrobe  
rw(1) retaining wall (type)  
rwt rainwater tank  
snk sink  
sc steel column  
slc steel float concrete  
fs fridge space  
sk skylight/skytube

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop  
wcs window casing

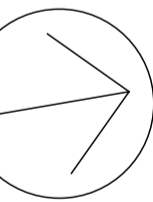
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Tel +61 2 8876 5300  
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01	Issue for Development	01/12/20
02	Revised DA	11/03/21
03	Revised DA - Council RFI	24/03/21


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Residential Apartments

20 & 22 Mindarie Street &  
30 Pinaroo Place,  
Lane Cove North, NSW

Drawn: AA  
Checked: AT  
Plot date: 24/3/21

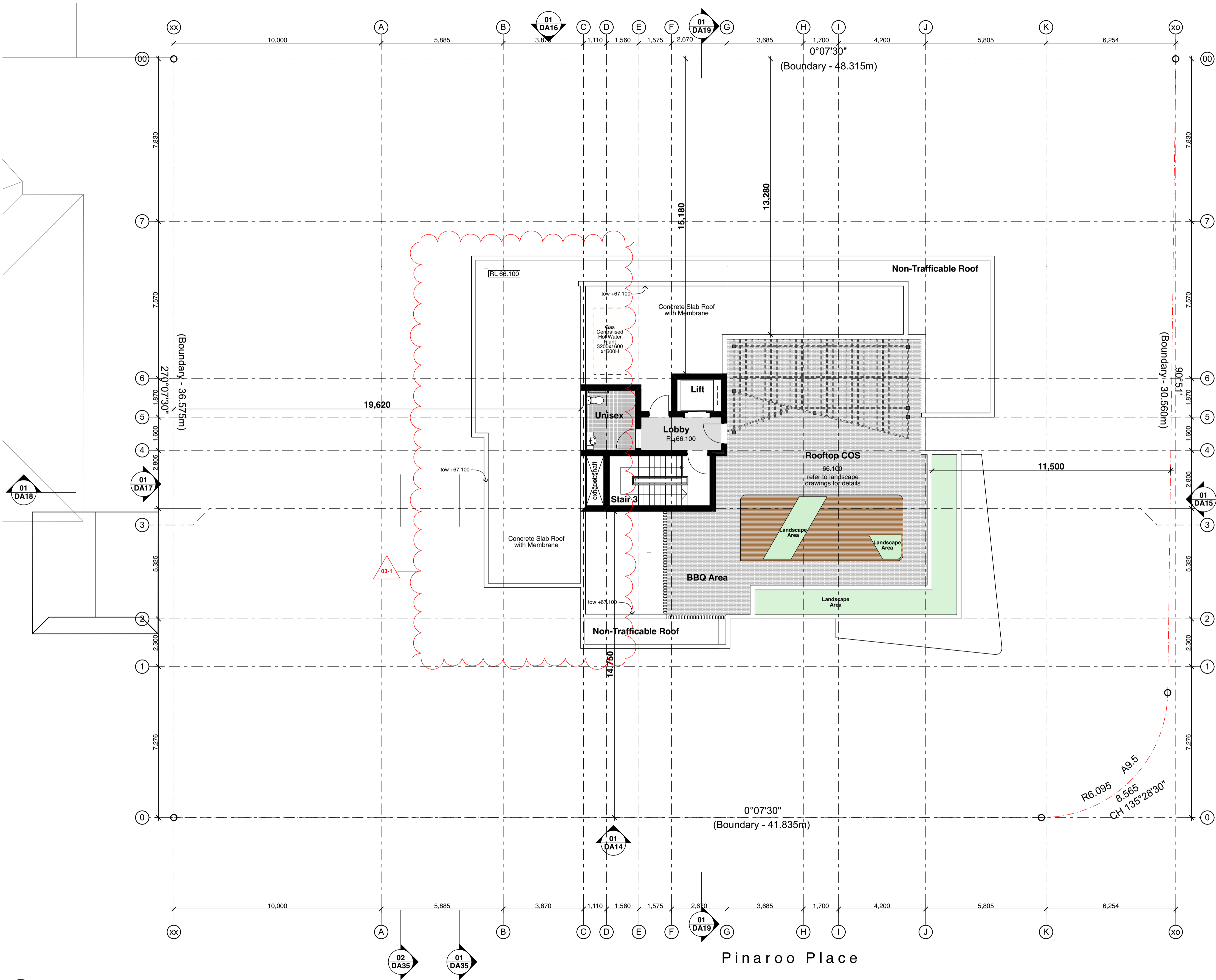
Scale: 1:100 as noted @ A1

Project No:  
2088.16

Drawing No;  
DA13

Revision#;  
03

Roof Floor Plan



01 Roof Floor Plan  
1:100

- Legend (roof plans)  
note: drawing may not contain all items listed below
- ap access panel
  - bc barge capping
  - dp downpipe
  - eg eaves gutter
  - ex existing
  - fg flashing
  - gu gutter
  - mdr metal deck roof sheeting
  - of overflow
  - pc parapet capping
  - pv photovoltaic cells

- rrc roof ridge capping
- rwh rainwater head
- sk skylight/skytube
- tf tray flashing
- vg valley gutter
- vof vertical overflow
- vp vent pipe

- note:
- provide flashings and cappings to all roof penetrations in accordance with roof manufacturers details
  - gutter on brackets as specified, refer to specification
  - provide gutter-guards to all guttering throughout refer to reference specification for group homes' construction addc august 2012
  - metal roof sheeting to comply with AS1562.1

- gutters, downpipes and flashing must comply with AS/NZ 2179.1 and AS1273 and not contain any lead for potable water supplies. The roof water is not proposed to be used for potable water supply.
- down pipe sizes are required to satisfy the requirements of BCA 3.5.2.5

- the fire hazard properties of materials used must comply with the following:  
(a) sacking-type materials used in the roof must have a flammability index not greater than 5.  
(b) flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS4264.

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20 & 22 Mindarie Street &  
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Drawn: AA  
Checked: AT  
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Scale: 1:100 as noted @ A1

Project No:

2088.16

Drawing No;

DA14

Revision#;

03

East Elevation -Pinaroo  
St.

Legend (elevation & sections)		conc.		gl		pap(1)		sk	
note: drawing may not contain all items listed below		concrete		ground line		perforated acoustic panel (type)		skylight/skytube	
ac	air conditioner condenser	cs	coved skirting	gl	gate	pbd	privacy door	sl	sliding door
ag	air pipe	dp	downpipe	hr(1)	handrail (type)	ps	privacy screen	ss(1)	sun shade (type)
alw	aluminium framed window	dth	door head	hwu	hot water unit	pv	photovoltaic cells	ts	timber skirting
bal(1)	balustrade (type)	eg	eaves gutter	ip	insulated panel	rc	rendered concrete	wcs	window casing
bc	barge capping	egl	existing ground line	lv(f)	fixed louvres	rms	raked metal soffit	note: 1. all handrails, balustrades & louvres shown indicatively only. refer to detail drawings for clarity. 2. refer to engineer's drawings for final co-ordination. 3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.	
bg	box gutter	ex.	existing	lv(o)	operable louvres	rp(1)	roller shutter		
bhc	brick header course	f	fixed sash window	mc(1)	metal cladding (type)	rs	roller shutter		
boe	brick on edge	fb(1)	face brickwork (type)	mdr	metal deck roof	rw	retaining wall	note: 1. all handrails, balustrades & louvres shown indicatively only. refer to detail drawings for clarity. 2. refer to engineer's drawings for final co-ordination. 3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.	
bws	brickwork sill	fcf	finished ceiling level	ofc	off form concrete	rwh	rainwater head		
c/c	compessed fibre cement	ff	finished floor level	olv	operable louvres	s	sliding sash window		
cj	control joint	fp	feature panel	p(1)	paint (type)	sc	steel column		

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Potential Development  
Building Envelope  
Lane Cove LEP 2009  
Zone: R4  
High Density Residential  
Max. Height: 17.5m

24 Mindarie Street

Existing Neighbouring  
Building in background

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Residential Apartments

20 & 22 Mindarie Street &  
30 Pinaroo Place,  
Lane Cove North, NSW

Drawn: AA  
Checked: AT  
Plot date: 24/3/21

Scale: 1:100 as noted @ A1

Project No:  
2088.16

Drawing No; Revision#;  
DA15 03

North Elevation -  
Mindarie St.

Legend (elevation & sections)  
note: drawing may not contain all items listed below  
ac air conditioner condenser  
ag pipe  
alw aluminium framed window  
bal(1) balustrade (type)  
bc barge capping  
bg box gutter  
bhc brick header course  
boe brick on edge  
bws brickwork sill  
clc compressed fibre cement  
cj control joint

conc. concrete  
cs coved skirting  
dp downpipe  
dth door head  
eg eaves gutter  
egl existing ground line  
ex. existing  
f fixed sash window  
fb(1) face brickwork (type)  
fcl finished ceiling level  
fll finished floor level  
fp feature panel

gl ground line  
gr(1) handrail (type)  
hwu hot water unit  
ip insulated panel  
lv(f) fixed louvres  
lv(o) operable louvres  
mc(1) metal cladding (type)  
mdr metal deck roof  
otc off form concrete  
olv operable louvres  
p(1) paint (type)

pap(1) perforated acoustic panel (type)  
pbd plasterboard  
ps privacy screen  
pv photovoltaic cells  
rc rendered concrete  
rms raked metal soffit  
render & paint finish (type)  
rp(1) roller shutter  
rs retaining wall  
rwh rainwater head  
s sliding sash window  
sc steel column

sk skylight/skytube  
sl sun shade (type)  
ts timber skirting  
wcs window casing  
note:  
1. all handrails, balustrades & louvres shown  
indicatively only. refer to detail drawings for clarity.  
2. refer to engineer's drawings for final co-ordination.  
3. acoustic panel edges at all major joints (solid line) &  
all exposed edges including top (adjoining s/s sill) &  
bottom (adjoining skirting) are to include 12x12mm  
aluminium angle.

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Checked; AT  
Plot date; 24/3/21

Scale;1:100 as noted @ A1

Project No;  
2088.16

Drawing No; DA16  
Revision#; 03

West Elevation

01 West Elevation  
1:100

Legend (elevation & sections)									
note: drawing may not contain all items listed below									
ac	air conditioner condenser	conc.	concrete	gl	ground line	pap(1)	perforated acoustic panel (type)	sk	skylight/skytube
ag	ag pipe	cs	coved skirting	gi	gate	pbd	plasterboard	sl	sliding door
alw	aluminium framed window	dp	downpipe	hr(1)	handrail (type)	ps	privacy screen	ss(1)	sun shade (type)
bal(1)	balustrade (type)	dth	door head	hwu	hot water unit	pv	photovoltaic cells	ts	timber skirting
bc	barge capping	eg	eaves gutter	ip	insulated panel	rc	rendered concrete	wcs	window casing
bg	box gutter	egl	existing ground line	lv(f)	fixed louvres	rms	raked metal soffit	note: 1. all handrails, balustrades & louvres shown indicatively only. refer to detail drawings for clarity. 2. refer to engineer's drawings for final co-ordination. 3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.	
bhc	brick header course	ex.	existing	lv(o)	operable louvres	rp(1)	render & paint finish (type)		
boe	brick on edge	f	fixed sash window	mc(1)	metal cladding (type)	rs	roller shutter		
bws	brickwork sill	fb(1)	face brickwork (type)	mdr	metal deck roof	rw	retaining wall		
c/c	compessed fibre cement	fcf	finished ceiling level	otc	off form concrete	rwh	rainwater head		
cj	control joint	ff	finished floor level	olv	operable louvres	s	sliding sash window		
		fp	feature panel	p(1)	paint (type)	sc	steel column		

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01 South Elevation  
1:100

Legend (elevation & sections)		note: drawing may not contain all items listed below	
ac	air conditioner condenser	conc.	concrete
ag	ag pipe	cs	coved skirting
alw	aluminium framed window	dp	downpipe
bal(1)	balustrade (type)	dth	door head
bc	barge capping	eg	eaves gutter
bg	box gutter	egl	existing ground line
bhc	brick header course	ex.	existing
boe	brick on edge	f	fixed sash window
bws	brickwork sill	fb(1)	face brickwork (type)
c/c	compessed fibre cement	fc	finished ceiling level
cj	control joint	ff	finished floor level
		fp	feature panel
gl	ground line	gi	gate
		hr(1)	handrail (type)
		hwu	hot water unit
		ip	insulated panel
		lv(f)	fixed louvres
		lv(o)	operable louvres
		mc(1)	metal cladding (type)
		mdr	metal deck roof
		ofc	off form concrete
		olv	operable louvres
		p(1)	paint (type)
pap(1)	perforated acoustic panel (type)	pbd	plasterboard
ps	privacy screen	pv	photovoltaic cells
rc	rendered concrete	rms	raked metal soffit
rp(1)	render & paint finish (type)	rs	roller shutter
rw	retaining wall	rwh	rainwater head
s	sliding sash window	sc	steel column
sk	skylight/skytube	sl	sliding door
ss(1)	sun shade (type)	ts	timber skirting
wcs	window casing		

note:  
1. all handrails, balustrades & louvres shown indicatively only. refer to detail drawings for clarity.  
2. refer to engineer's drawings for final co-ordination.  
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

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Residential Apartments

20 & 22 Mindarie Street &  
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Drawn: AA  
Checked: AT  
Plot date: 24/3/21

Scale: 1:100 as noted @ A1

Project No:  
2088.16

Drawing No; Revision#;  
DA17 03

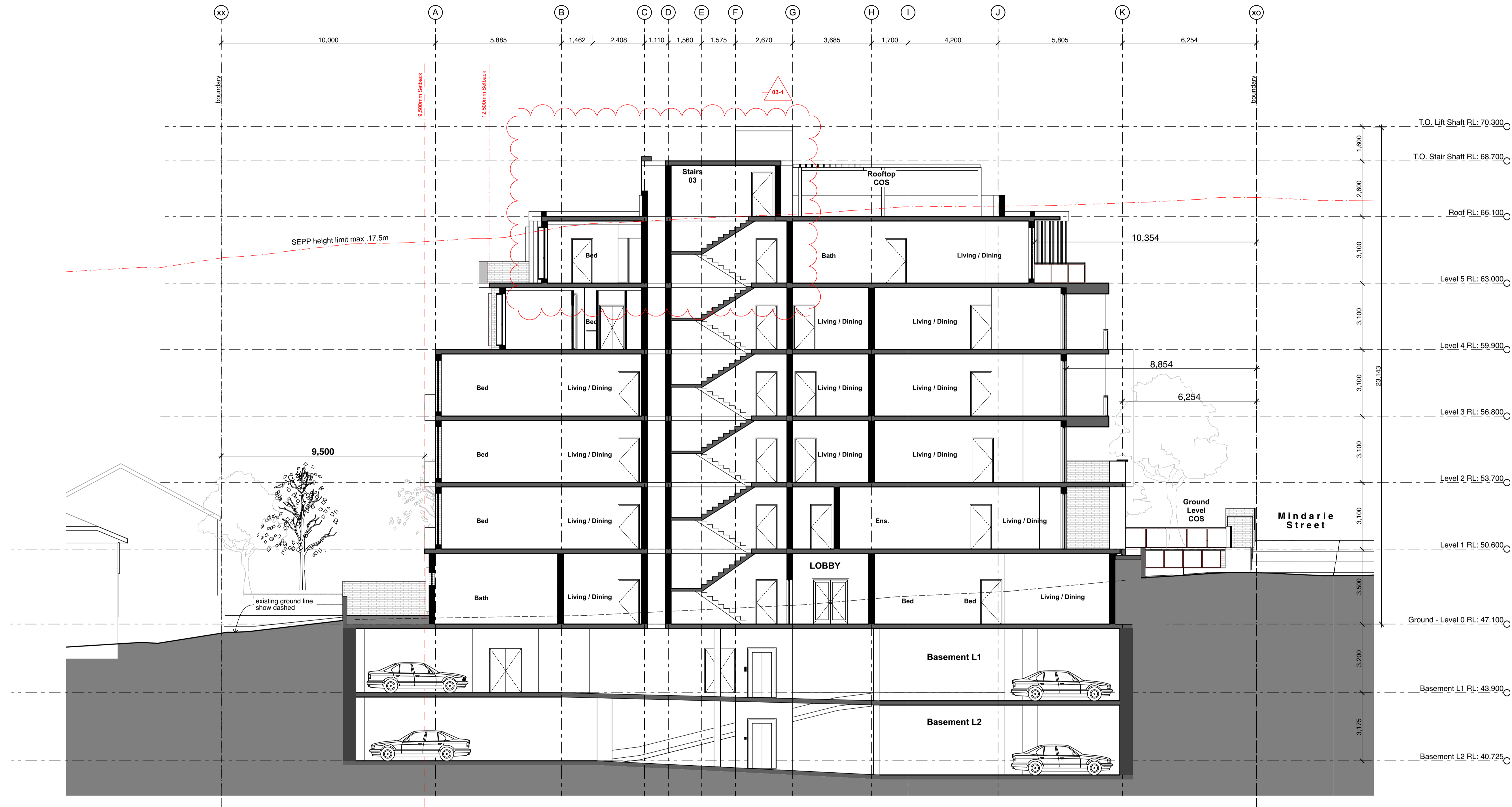
South Elevation

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01	Issue for Development	01/12/20
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03	Revised DA - Council RFI	24/03/21



01 Section S01  
1:100

Legend (elevation & sections)		conc.		gl		pap(1)		sk	
note: drawing may not contain all items listed below		concrete		ground line		perforated acoustic panel (type)		skylight/skytube	
ac	air conditioner condenser	cs	coved skirting	gl	gate	pbd	plasterboard	sl	sliding door
ag	air pipe	dp	downpipe	hr(1)	handrail (type)	ps	privacy screen	ss(1)	sun shade (type)
alw	aluminium framed window	dth	door head	hwu	hot water unit	pv	photovoltaic cells	ts	timber skirting
bal(1)	balustrade (type)	eg	eaves gutter	ip	insulated panel	rc	rendered concrete	wcs	window casing
bc	barge capping	egl	existing ground line	lv(f)	fixed louvres	rms	raked metal soffit	note: 1. all handrails, balustrades & louvres shown indicatively only. refer to detail drawings for clarity. 2. refer to engineer's drawings for final co-ordination. 3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.	
bg	box gutter	ex.	existing	lv(o)	operable louvres	rp(1)	render & paint finish (type)		
bhc	brick header course	f	fixed sash window	mcr(1)	metal cladding (type)	rs	roller shutter		
boe	brick on edge	fb(1)	face brickwork (type)	mdr	metal deck roof	rw	retaining wall	note: 1. all handrails, balustrades & louvres shown indicatively only. refer to detail drawings for clarity. 2. refer to engineer's drawings for final co-ordination. 3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.	
bws	brickwork sill	fc	finished ceiling level	ofc	off form concrete	rwh	rainwater head		
c/c	compessed fibre cement	fl	finished floor level	olv	operable louvres	s	sliding sash window		
cj	control joint	fp	feature panel	p(1)	paint (type)	sc	steel column		

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Residential Apartments

20 & 22 Mindarie Street &  
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Drawn; AA  
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Plot date; 24/3/21

Scale; 1:100 as noted @ A1

Project No;  
2088.16

Drawing No;  
DA18

Revision#;  
03

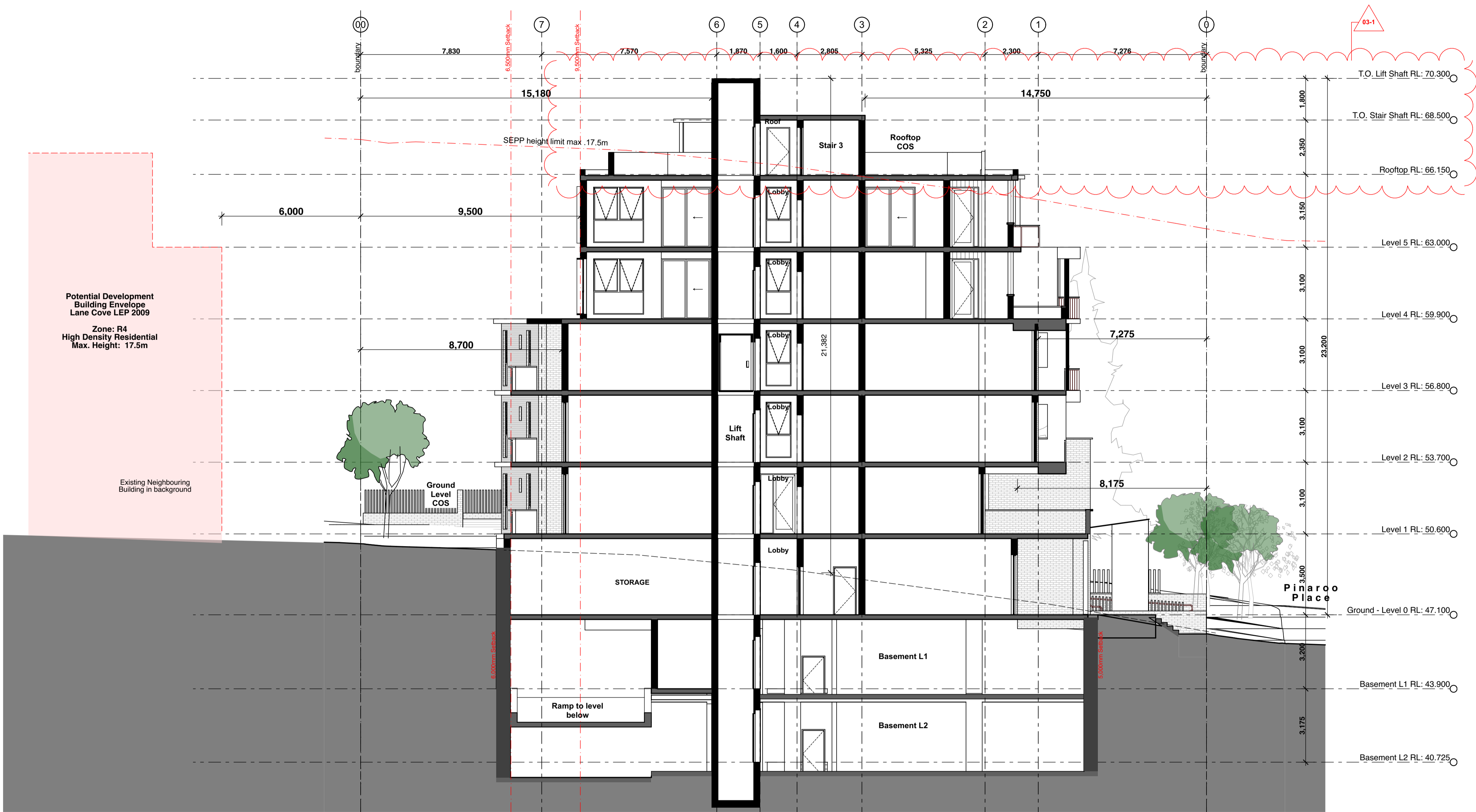
Section S01

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Rev	Issue	Date
01	Issue for Development	01/12/20
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01 Section S02  
1:100

Legend (elevation & sections)		note: drawing may not contain all items listed below	
ac	air conditioner condenser	conc.	concrete
ag	ag pipe	cs	coved skirting
alw	aluminium framed window	dp	downpipe
bal(1)	balustrade (type)	dth	door head
bc	barge capping	eg	eaves gutter
bg	box gutter	egl	existing ground line
bhc	brick header course	ex.	existing
boe	brick on edge	f	fixed sash window
bws	brickwork sill	fb(1)	face brickwork (type)
c/c	compessed fibre cement	fc	finished ceiling level
cj	control joint	fl	finished floor level
		fp	feature panel
gl	ground line	gi	gate
		hr(1)	handrail (type)
		hwu	hot water unit
		ip	insulated panel
		lv(f)	fixed louvres
		lv(o)	operable louvres
		mc(1)	metal cladding (type)
		mdr	metal deck roof
		ofc	off form concrete
		olv	operable louvres
		p(1)	paint (type)
pap(1)	perforated acoustic panel (type)	pbd	plasterboard
pbd	plasterboard	ps	privacy screen
pv	photovoltaic cells	rc	rendered concrete
rms	raked metal soffit	rp(1)	roller shutter
rs	roller shutter	rw	retaining wall
rwh	rainwater head	rvh	rainwater head
s	sliding sash window	sc	steel column
sk	skylight/skytube		
sl	sliding door		
ss(1)	sun shade (type)		
ts	timber skirting		
wcs	window casing		
note:			
1. all handrails, balustrades & louvres shown			
indicatively only. refer to detail drawings for clarity.			
2. refer to engineer's drawings for final co-ordination.			
3. acoustic panel edges at all major joints (solid line) &			
all exposed edges including top (adjoining s/s sill) &			
bottom (adjoining skirting) are to include 12x12mm			
aluminium angle.			

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Residential Apartments

20 & 22 Mindarie Street &  
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Drawn: AA  
Checked: AT  
Plot date: 24/3/21


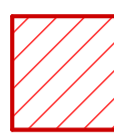


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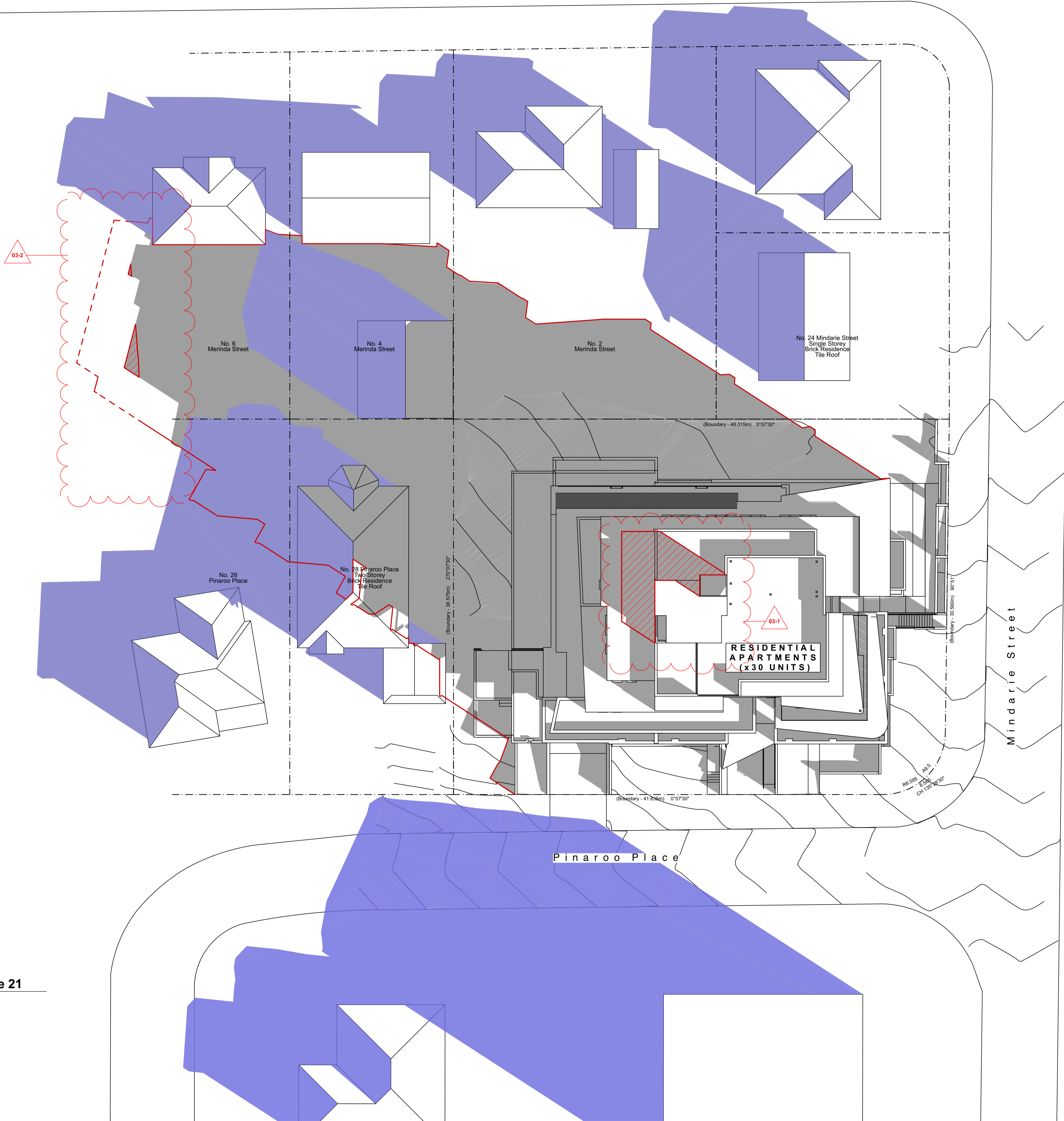
Project No:  
2088.16

Drawing No; DA19  
Revision#; 03

Section S02

Legend

-  Red line indicates shadow cast by proposed development
-  Hatch indicates shadow cast by proposed development over the height control
-  Red line indicates original lodged DA
-  Hatch indicates shadow cast by neighbouring buildings



01 Shadow diagram 9:00 am June 21  
1:200

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Residential Apartments

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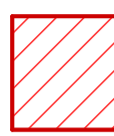


Scale: 1:200 as noted @ A1

Project No:  
2088.16

Drawing No; DA20  
Revision#; 03

Shadow Diagrams -  
Sheet 1

Legend

-  Red line indicates shadow cast by proposed development
-  Hatch indicates shadow cast by proposed development over the height control
-  Red line indicates original lodged DA
-  Hatch indicates shadow cast by neighbouring buildings



01

Shadow diagram 12:00 pm June 21  
1:200

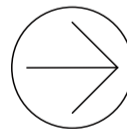
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Residential Apartments

20 & 22 Mindarie Street &  
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Drawn: AA  
Checked: AT  
Plot date: 24/3/21

Scale: 1:200 as noted @ A1

Project No:  
2088.16

Drawing No: DA21  
Revision#: 03

Shadow Diagrams -  
Sheet 2

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scale: 1:200 @A1

Legend

- Red line indicates shadow cast by proposed development
- Hatch indicates shadow cast by proposed development over the height control
- Red line indicates original lodged DA
- Hatch indicates shadow cast by neighbouring buildings



01

Shadow diagram 3:00 pm June 21  
1:200

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Nominated Architects - D/P Stanton 3642, S/M Evans 7686  
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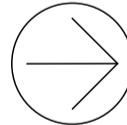
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Residential Apartments

20 & 22 Mindarie Street &  
30 Pinaroo Place,  
Lane Cove North, NSW

Drawn; AA  
Checked; AT  
Plot date; 24/3/21

Scale; 1:200 as noted @ A1

Project No;  
2088.16

Drawing No; DA22  
Revision#; 03

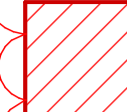
Shadow Diagrams -  
Sheet 3

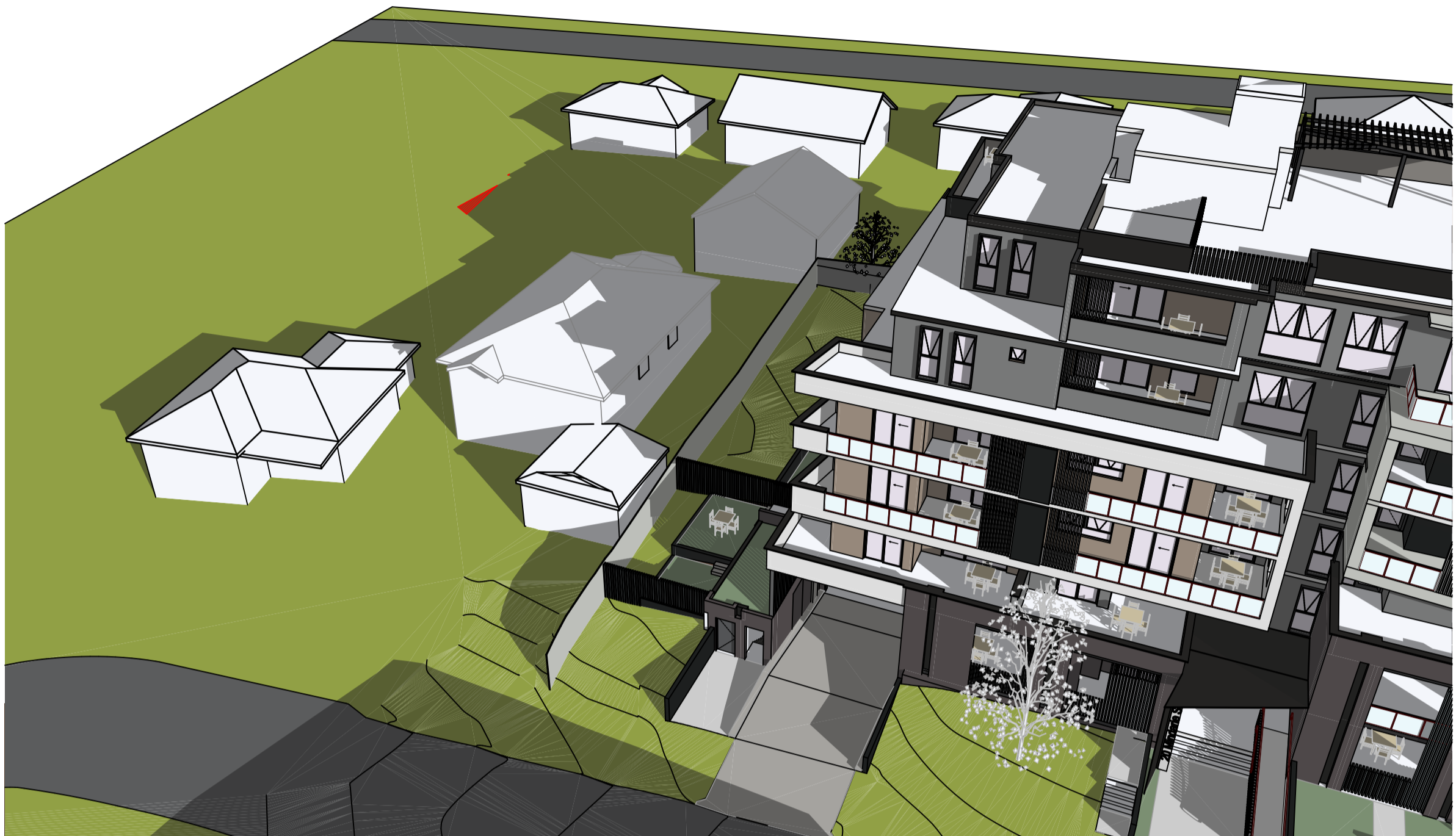
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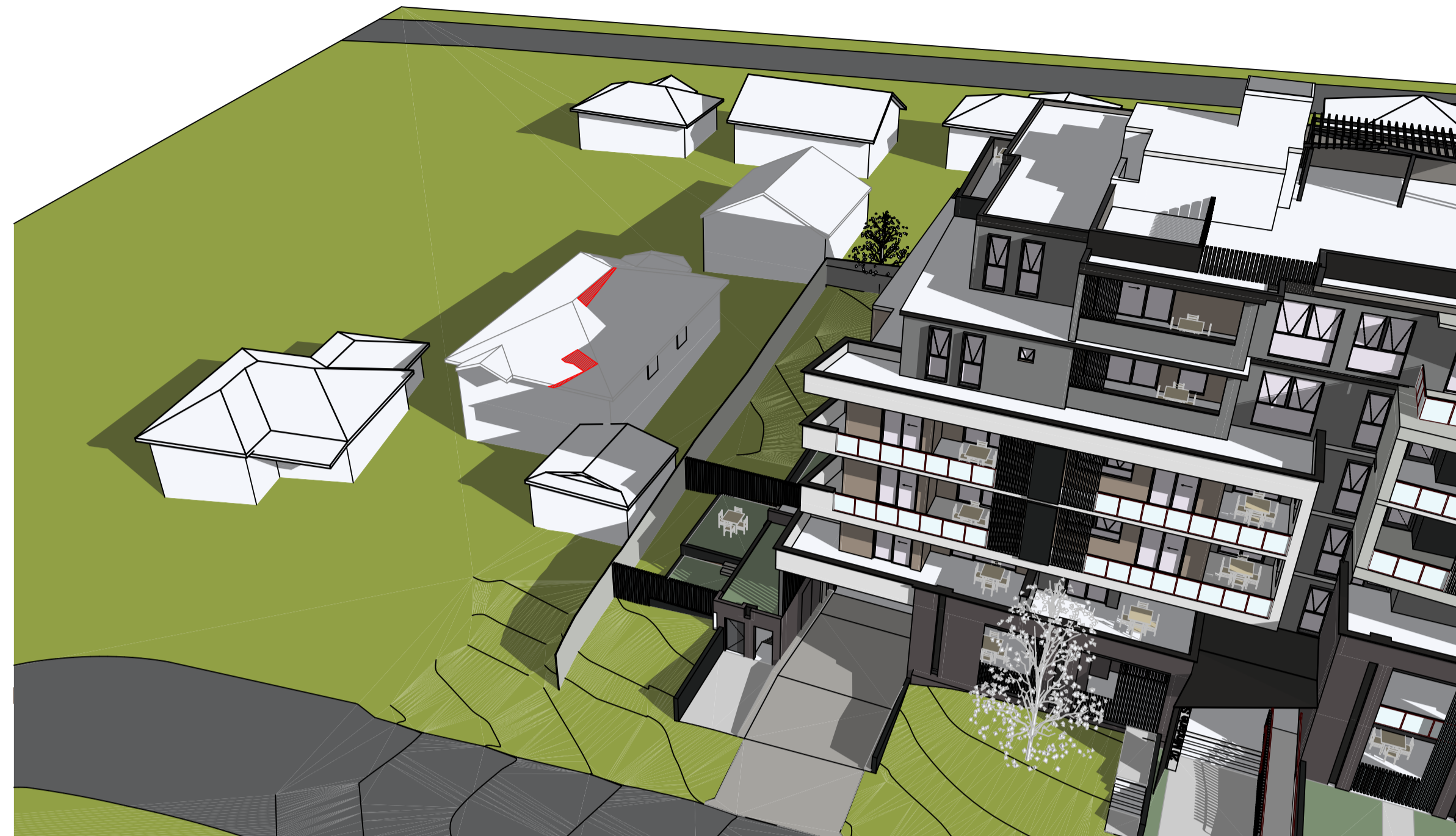
Rev	Issue	Date
01	Revised DA - Council RFI	24/03/21

Legend

 Hatch indicates shadow cast by proposed development over the height control



01 3d Shadow Analysis June 21 9am  
not to scale



02 3d Shadow Analysis 10am June 21  
not to scale



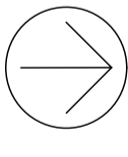
03 3d Shadow Analysis 11am June 21  
not to scale



04 3d Shadow Analysis June 21 12pm  
not to scale

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20 & 22 Mindarie Street &  
30 Pinaroo Place,  
Lane Cove North, NSW

Drawn; AA  
Checked; AT  
Plot date; 24/3/21

Scale; as noted @ A1

Project No;  
2088.16

Drawing No; DA23  
Revision#; 01

Shadow Diagrams -  
Sheet 4

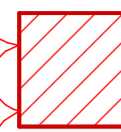
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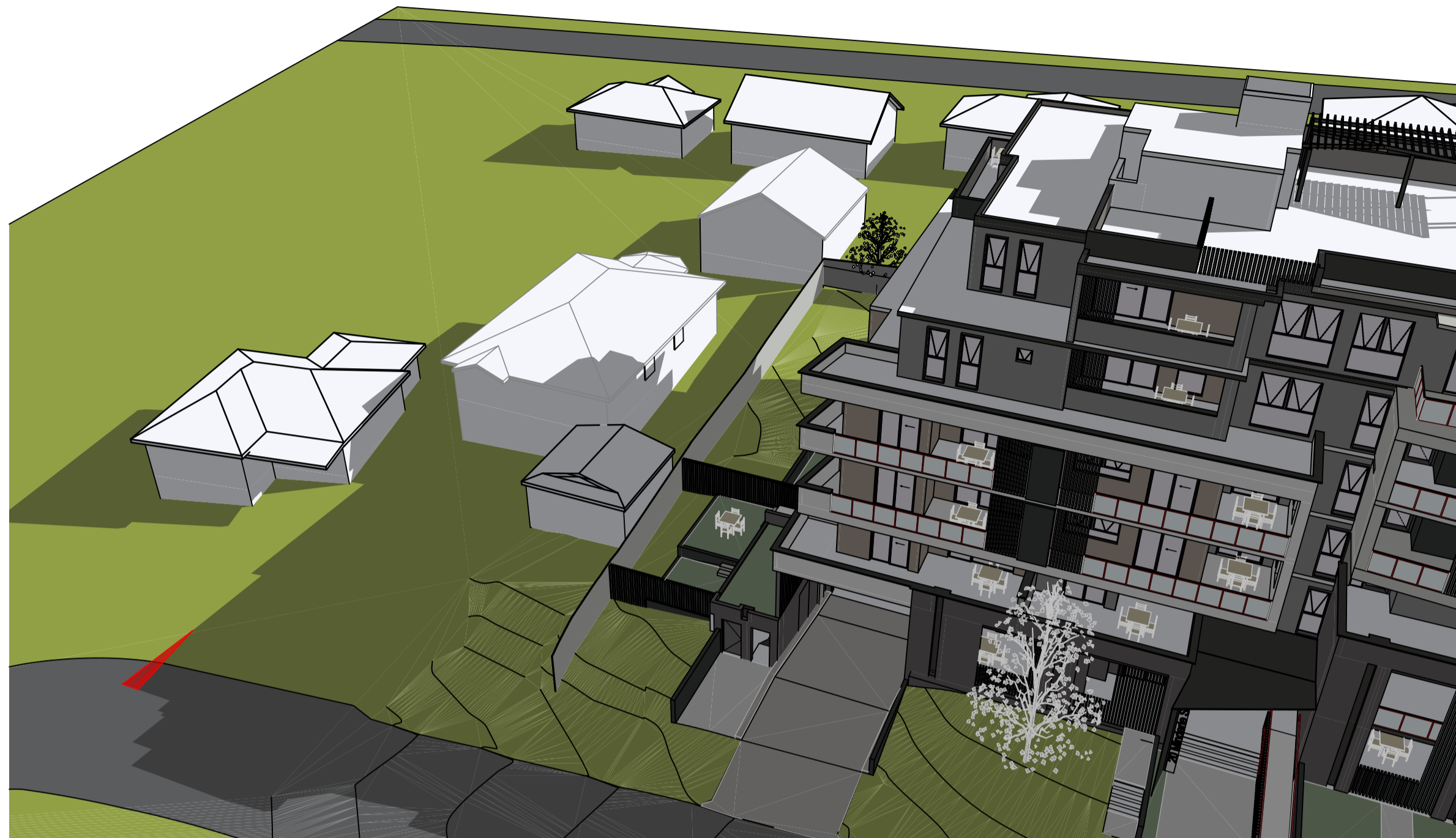
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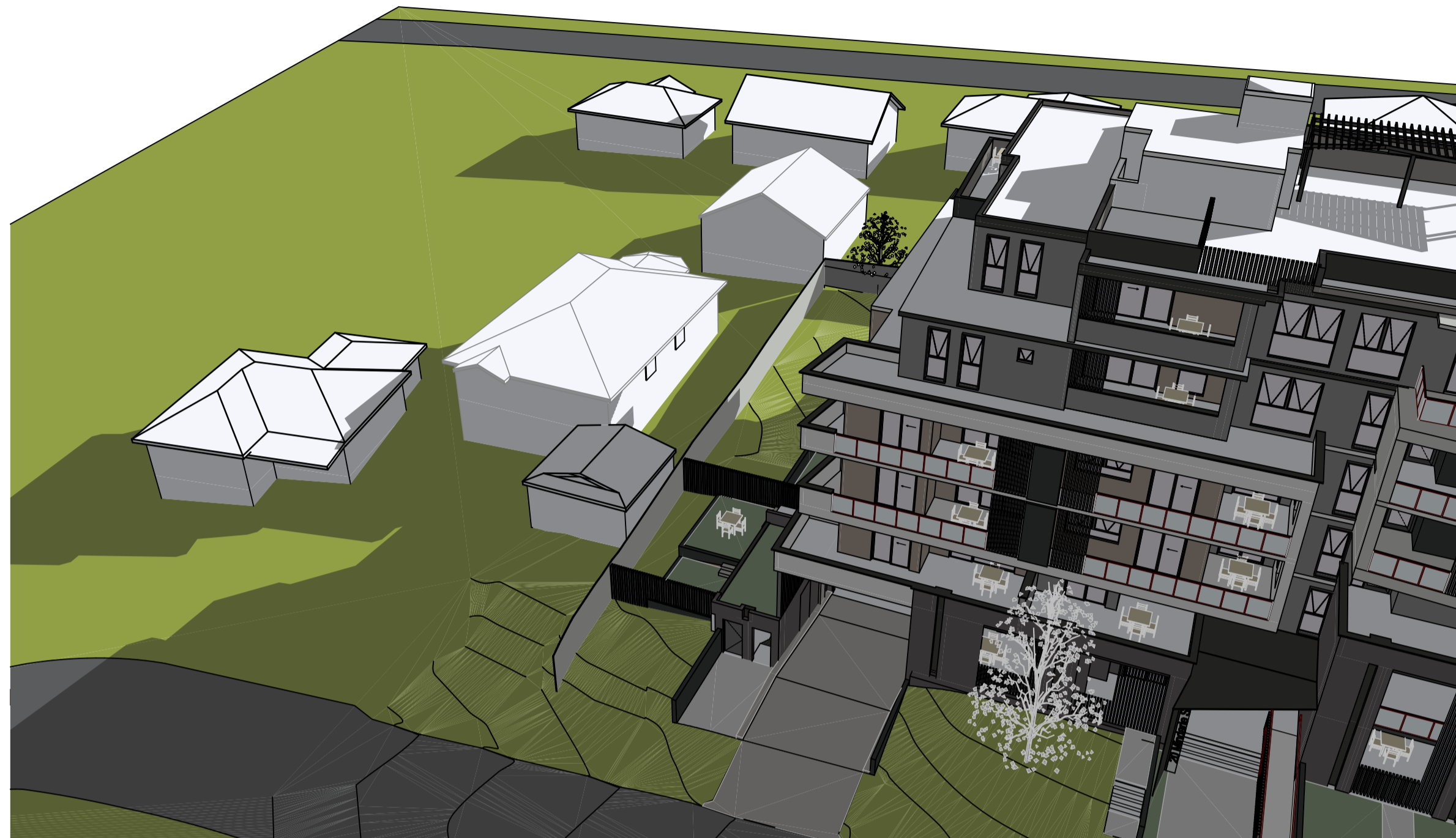

#### Legend



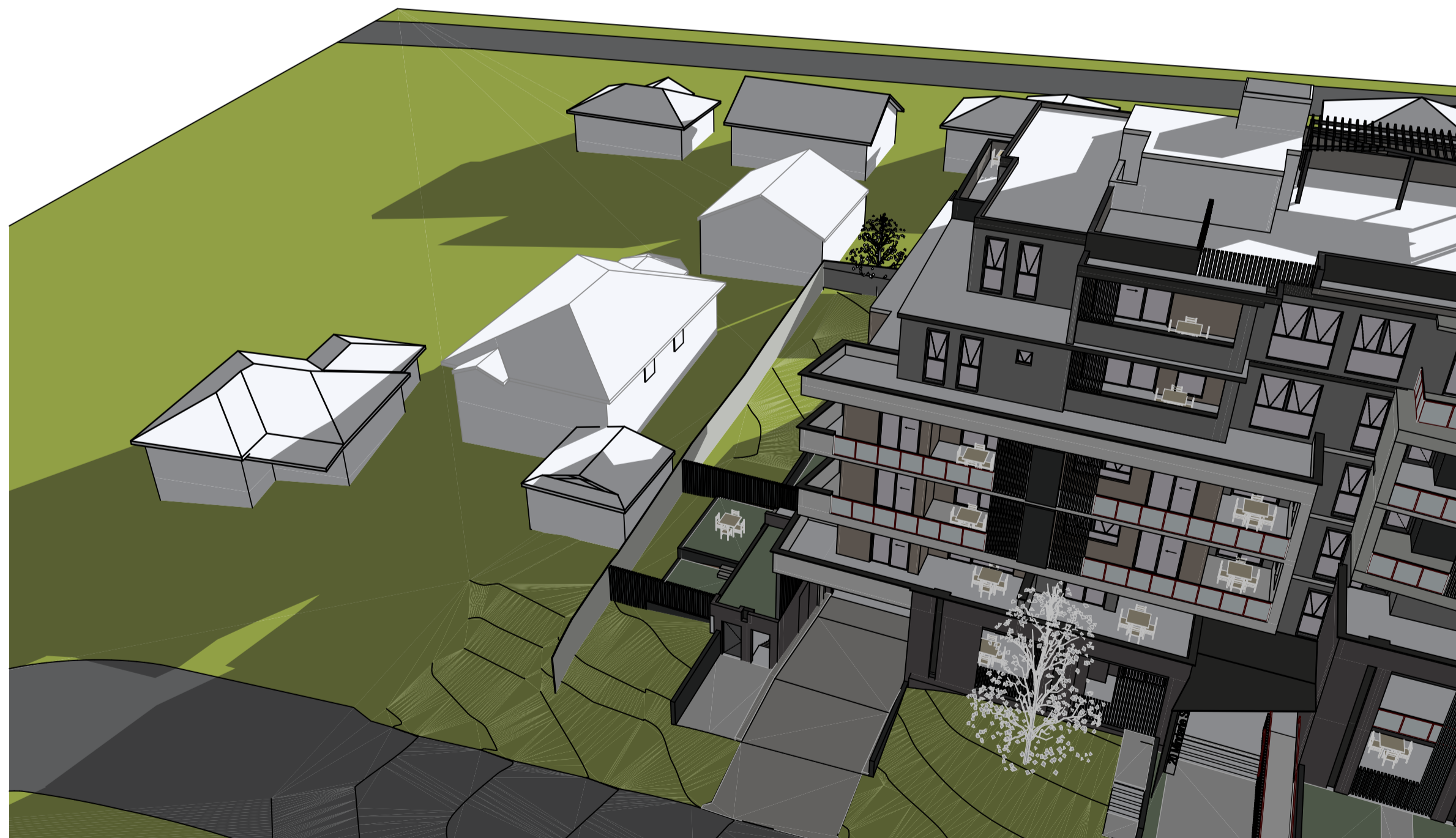
Hatch indicates shadow cast by proposed development over the height control



**01 3d Shadow Analysis 1pm June 21**  
not to scale

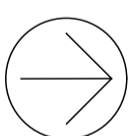


**02 3d Shadow Analysis 2pm June 21**  
not to scale



**03 3d Shadow Analysis 3pm June 21**  
not to scale

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Plot date; 24/3/21


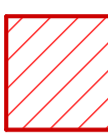


Scale; as noted @ A1

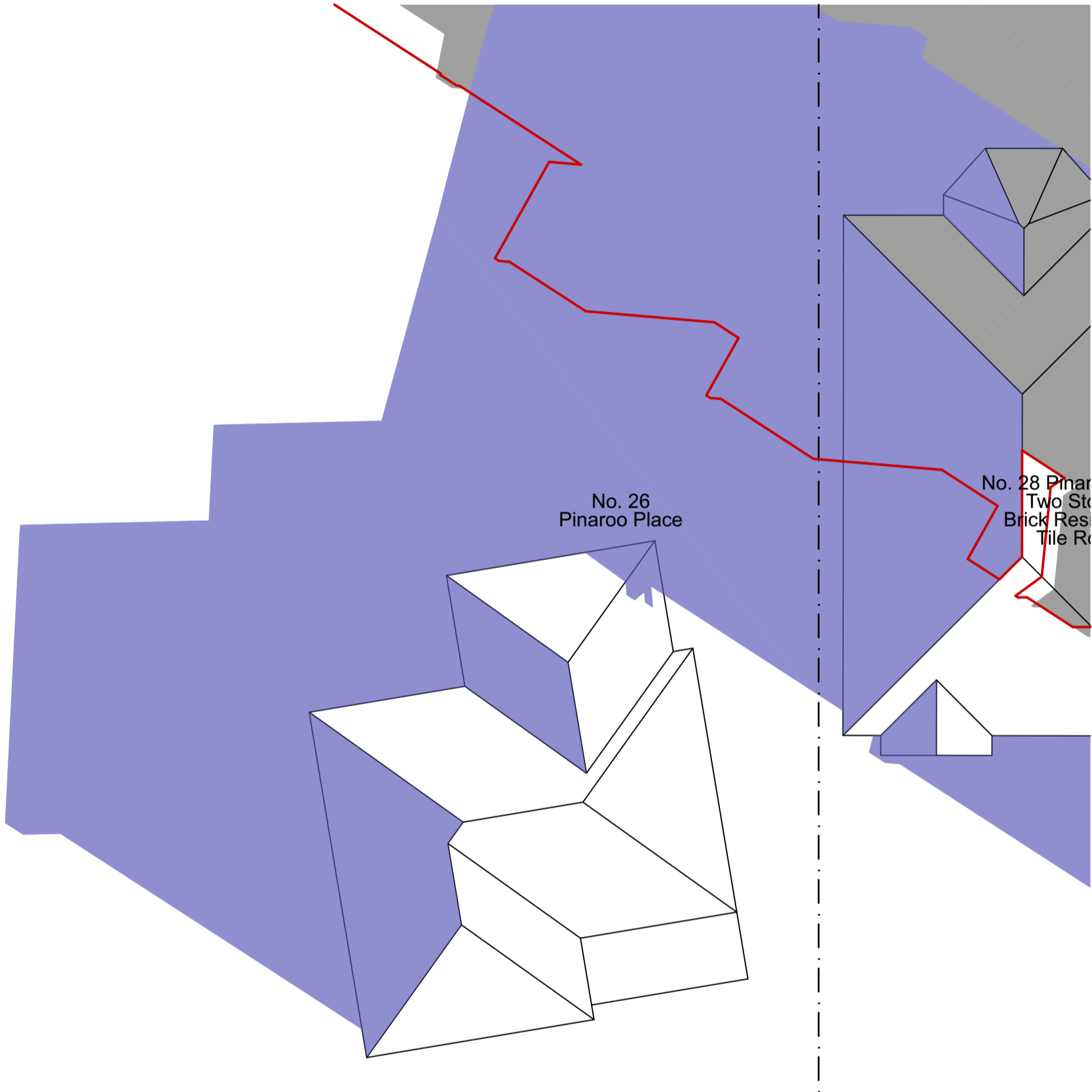
Project No;  
**2088.16**

Drawing No; **DA24**      Revision#; **01**

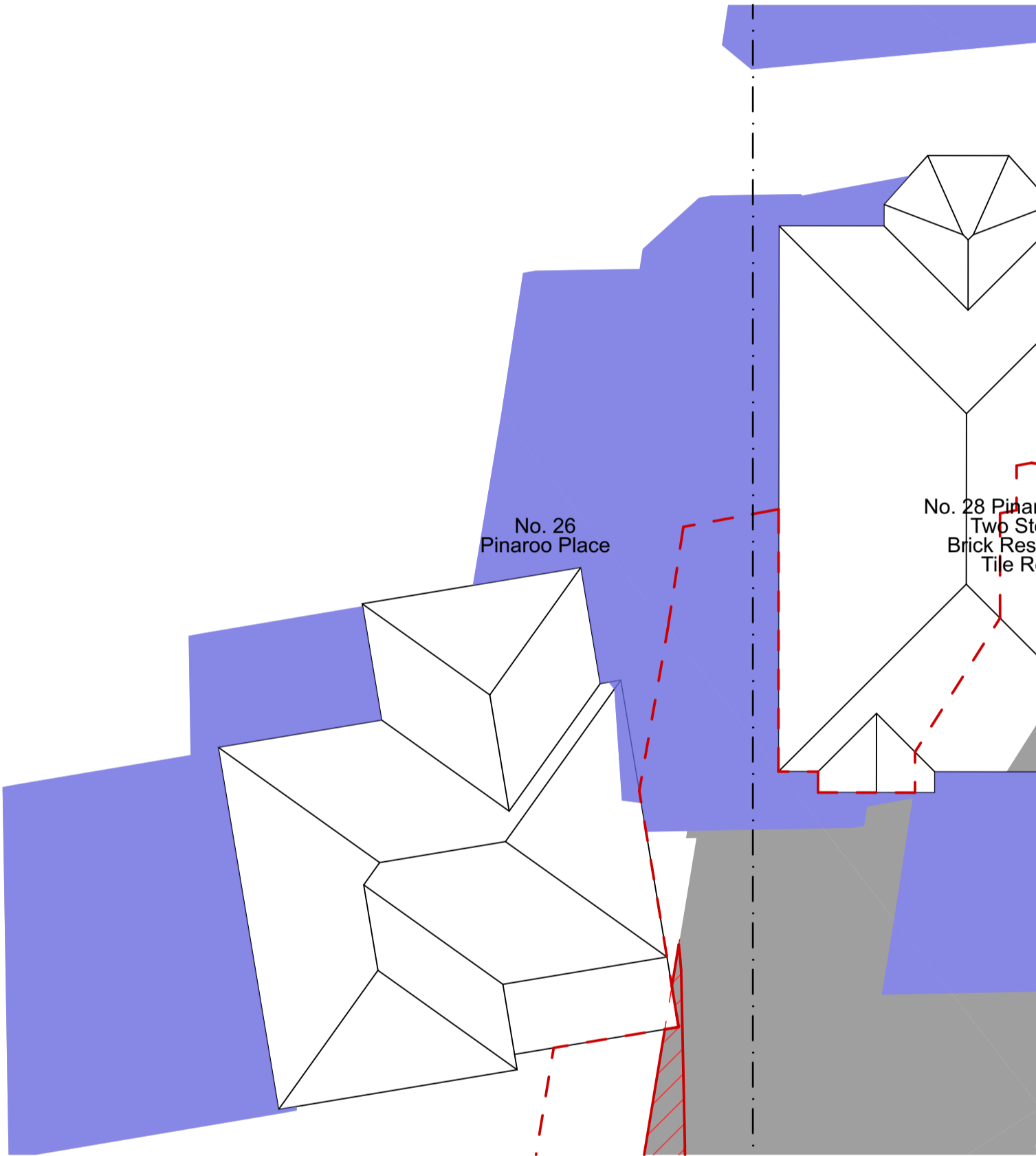
Shadow Diagrams -  
Sheet 5

Legend

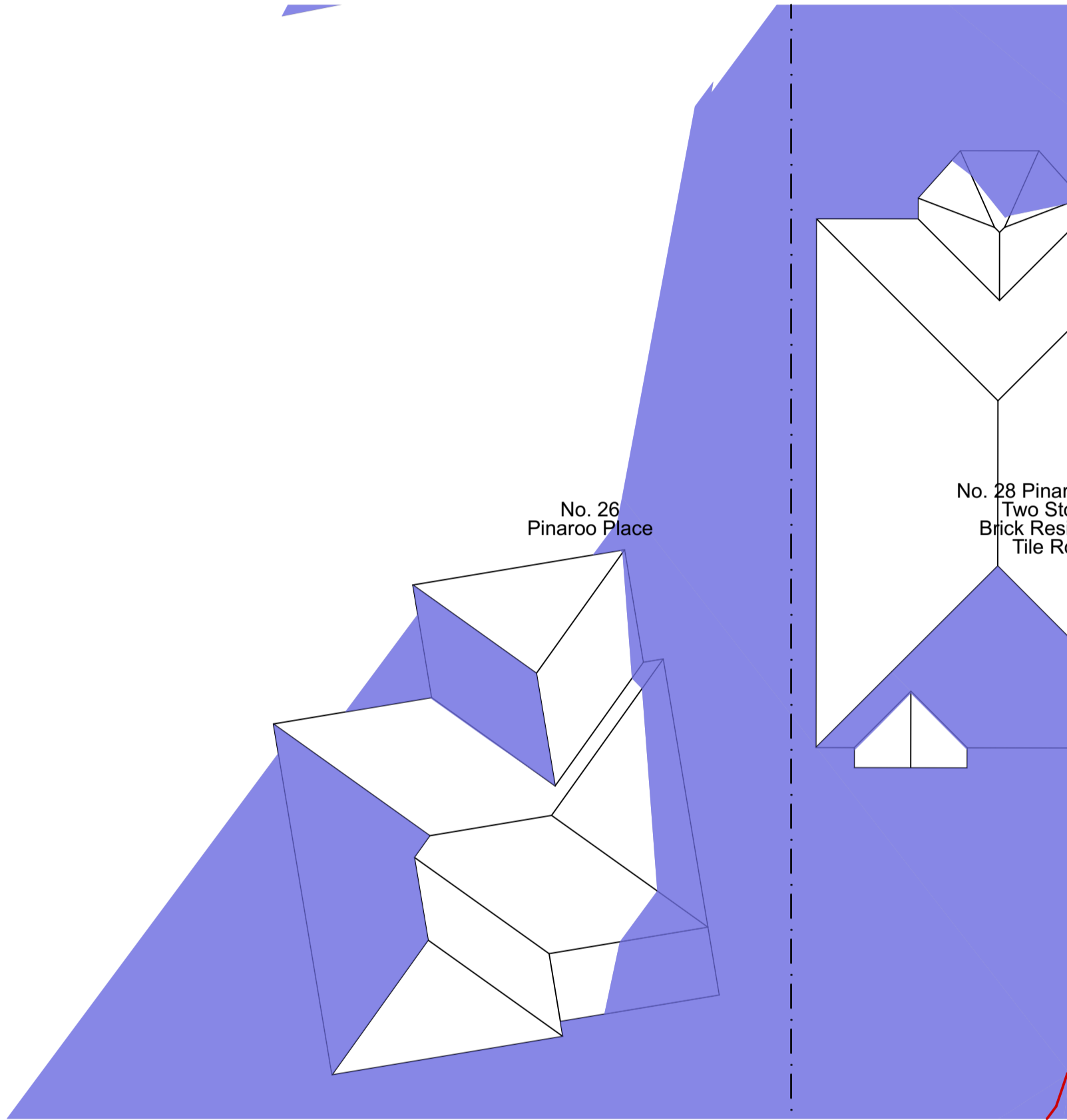
-  Red line indicates shadow cast by proposed development
-  Hatch indicates shadow cast by proposed development over the height control
-  Red line indicates original lodged DA
-  Hatch indicates shadow cast by neighbouring buildings



01 Shadow diagram 9:00 am June 21  
1:150



01 Shadow diagram 12:00 pm June 21  
1:150



01 Shadow diagram 3:00 pm June 21  
1:150

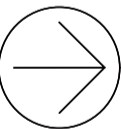
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01	Revised DA	11/03/21
02	Revised DA - Council RFI	24/03/21


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Checked; AT  
Plot date; 24/3/21

Scale;1:150 as noted @ A1

Project No;  
2088.16

Drawing No; DA25  
Revision#; 02

Shadow Diagrams - no.  
26 Pinaroo Pl.

# External Colour Selection

20 & 22 Mindarie Street & 30 Pinaroo Place, Lane Cove North, NSW



Face Brick (fb1)  
To match Austral La Paloma "Romero"



Face Brick (fb2)



Face Brick (fb3)  
"Desert Sahara"



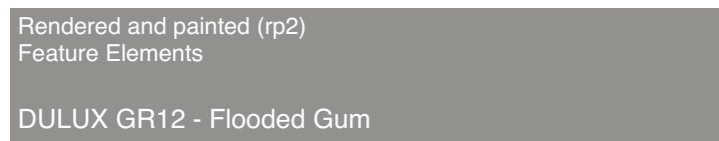
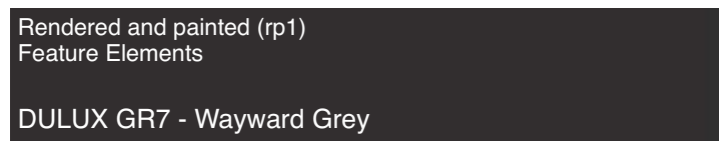
Textured Concrete



Fibre Cement Cladding (fc1)  
Colour to match James Hardie Scyon Axon



Fibre Cement Cladding (fc2)  
Timber-look prefinished



- textured concrete
- fibre cement cladding (fc1)
- face brick (fb1)
- rendered & painted (rp3)
- privacy screens
- face brick (fb3)
- rendered & painted (rp1)
- balustrades
- face brick (fb2)



- textured concrete
- face brick (fb1)
- balustrades
- fibre cement cladding (fc1)
- rendered & painted (rp3)
- face brick (fb3)
- privacy screens
- face brick (fb2)
- boundary fence



## DEVELOPMENT APPLICATION

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Cove North, NSW

## External Colour Selection

Project No;  
2088.16

Drawing No;      Revision#;  
DA26              03

Scale; 1:12.929, 1:3.116,  
1:2.597 as noted @ A3  
Drawn; AA

Plot date; 24/3/21

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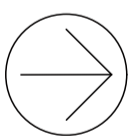
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02	Revised DA	11/03/21
03	Revised DA - Council RFI	24/03/21


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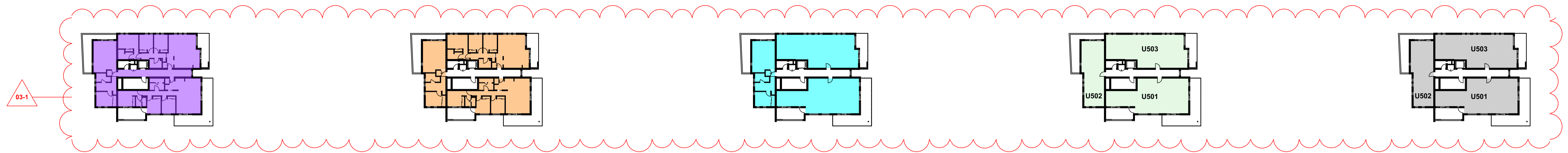
Drawn: AA  
Checked: AT  
Plot date: 24/3/21

Scale: 1:500 as noted @ AI

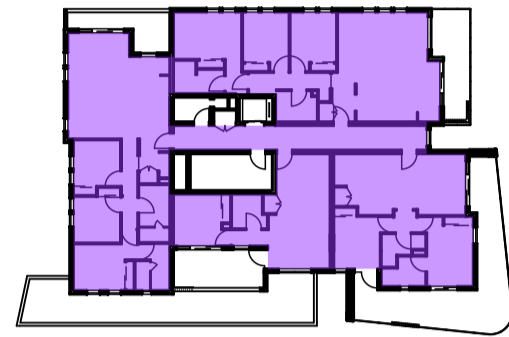
Project No:  
2088.16

Drawing No; DA27  
Revision#; 03

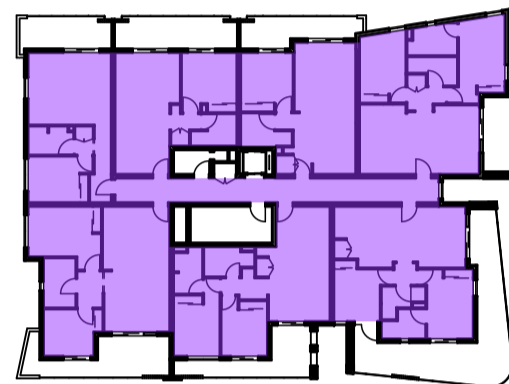
ADG Diagrams-Sheet 1



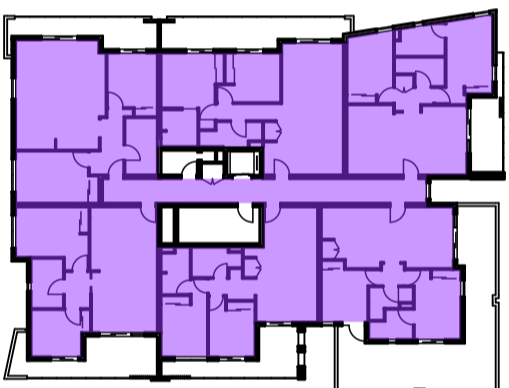
L5 GFA Residential: 317.99 m<sup>2</sup>



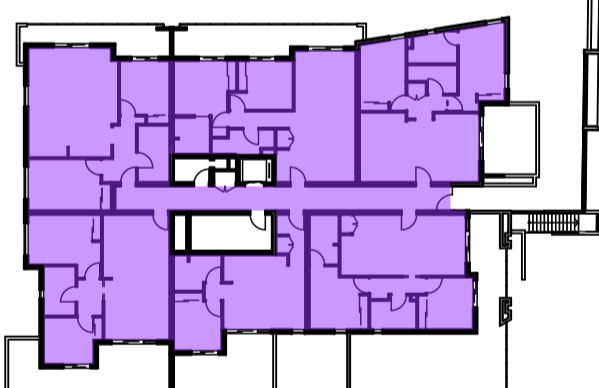
L4 GFA Residential: 380.18 m<sup>2</sup>



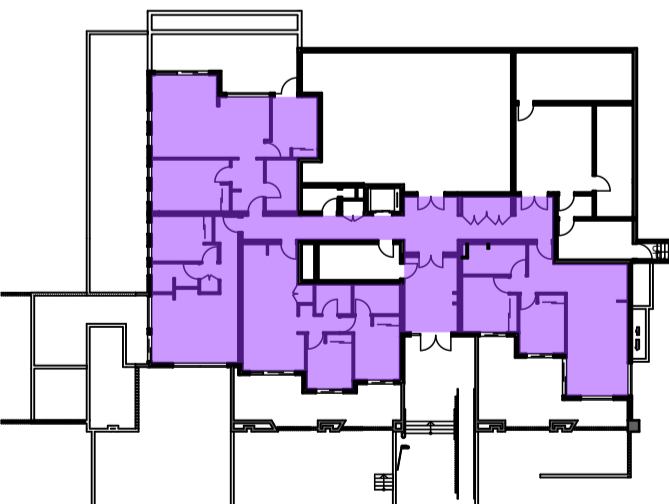
L3 GFA Residential: 535.83 m<sup>2</sup>



L2 GFA residential: 540.60 m<sup>2</sup>



L1 GFA Residential: 525.76 m<sup>2</sup>



L0 GFA Residential: 372.11 m<sup>2</sup>

01

**GFA Diagram**  
1:500

GFA measured to inner face of external enclosing wall, excluding lifts, stairs, services & voids.

Total GFA: 2672.47 m<sup>2</sup>

02

**Solar Access Diagram**  
1:500

Units with living rooms and private open spaces receiving a minimum of 2 hours direct sunlight between 9 am and 3 pm

Requirement: At least 70% of apartments in a building

Proposed: 21/ 30 Units (i.e. 70%)

03

**Cross ventilation Diagram**  
1:500

Units are naturally cross ventilated

Requirement: At least 60% of apartments in a building

Proposed: 20/ 30 Units (i.e. 66%)

04

**Unit Mix Diagram**  
1:500

19 x 2 Bedroom Units

6 x 1 Bedroom Units

5 x 3 Bedroom Units

04

**Affordable units Diagram**  
1:500

9 x Affordable Units

21 x Private Units

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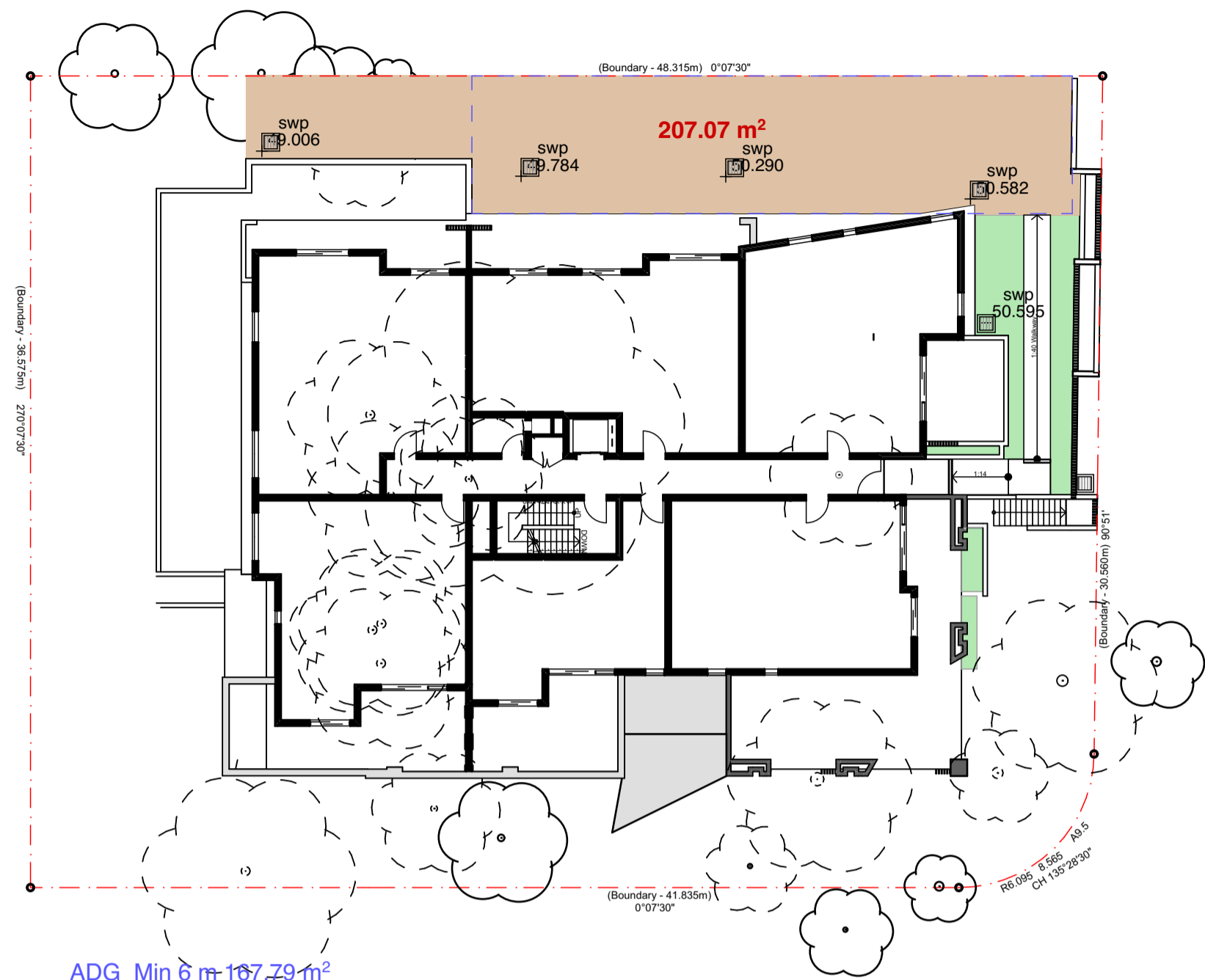
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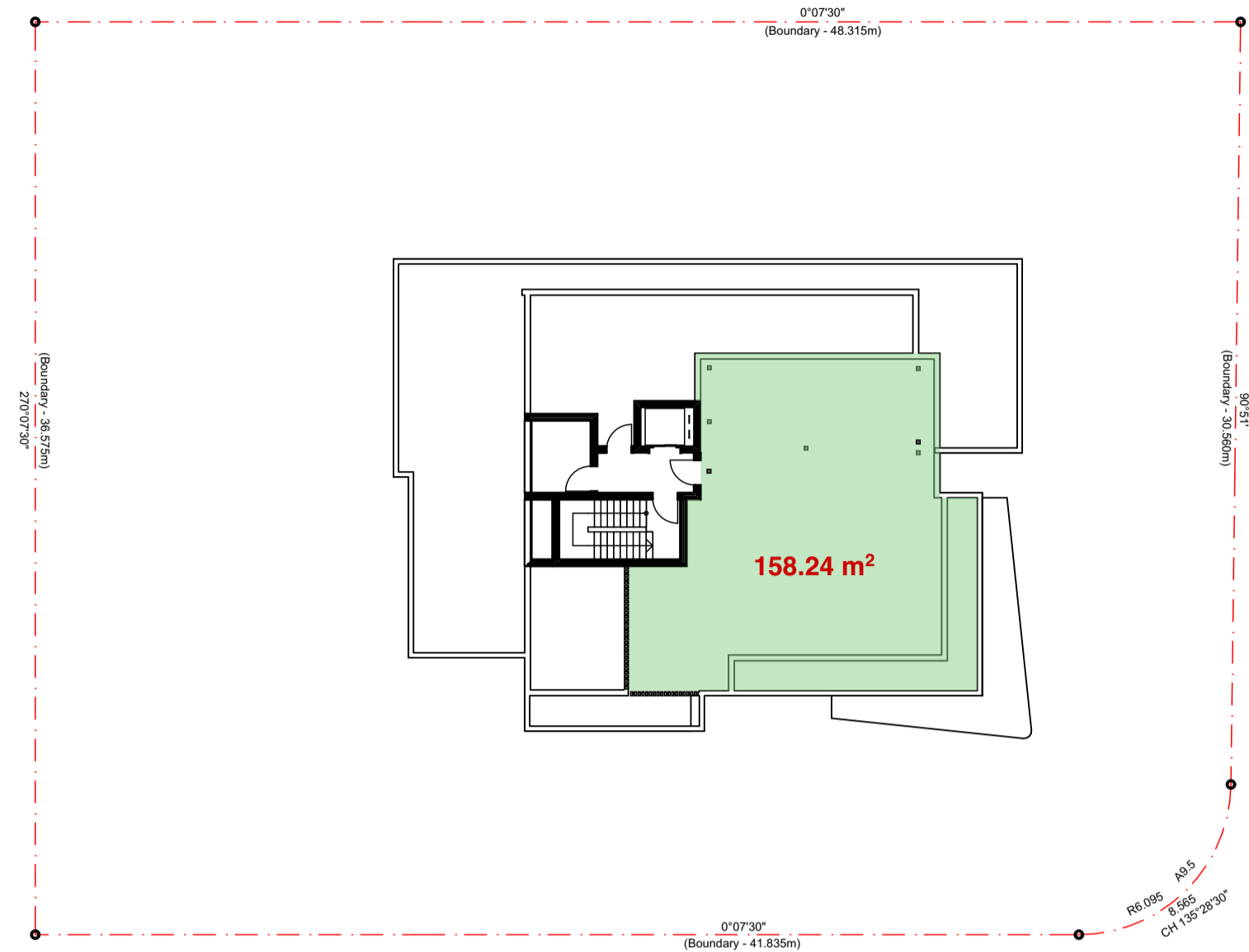
Landscape Area: 258.39 m²

02 Landscape diagram - Level 1



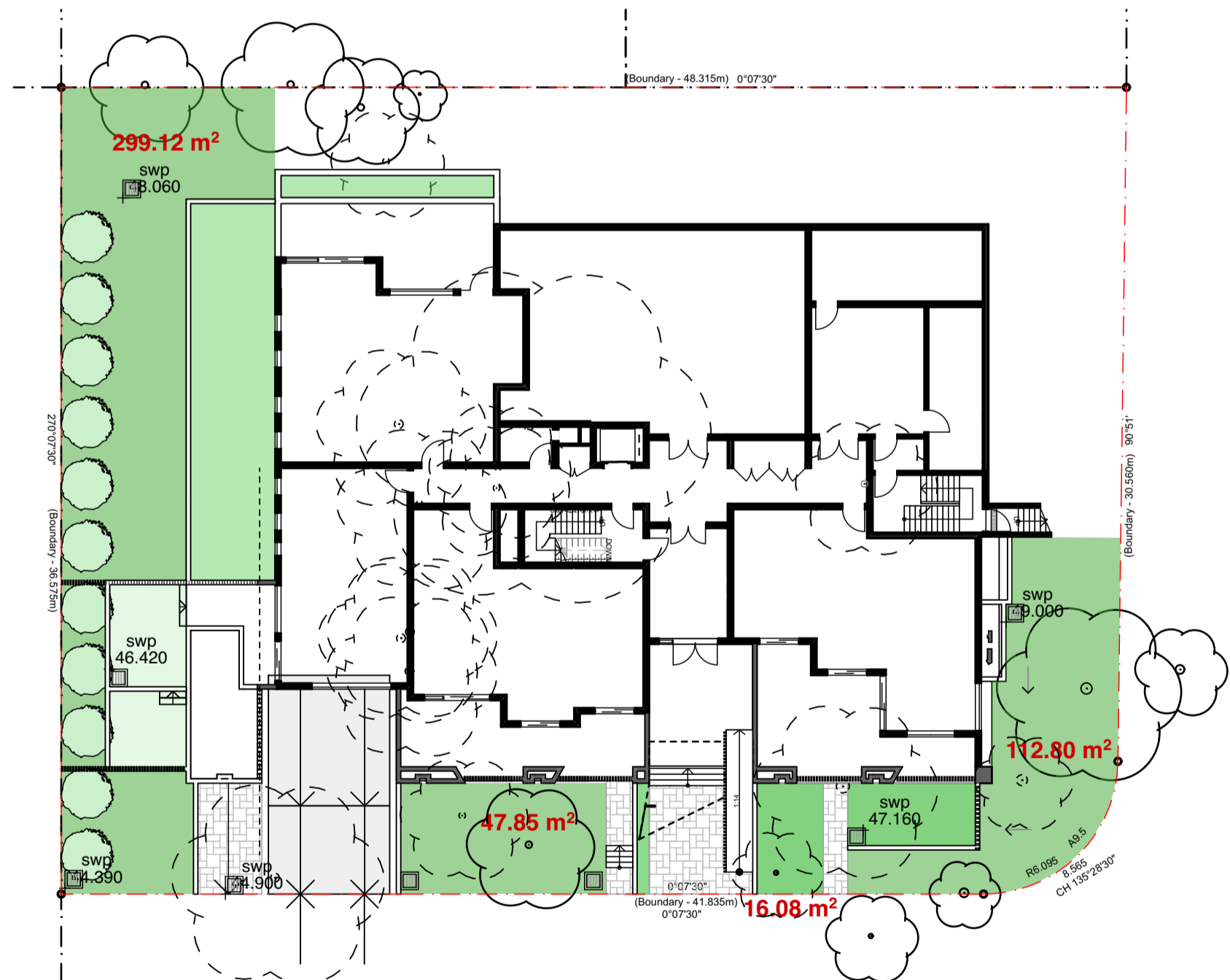
ADG Min 6 m 187.29 m²  
Deep Soil Area: 207.07 m²

02 Deep Soil Diagram Level 1



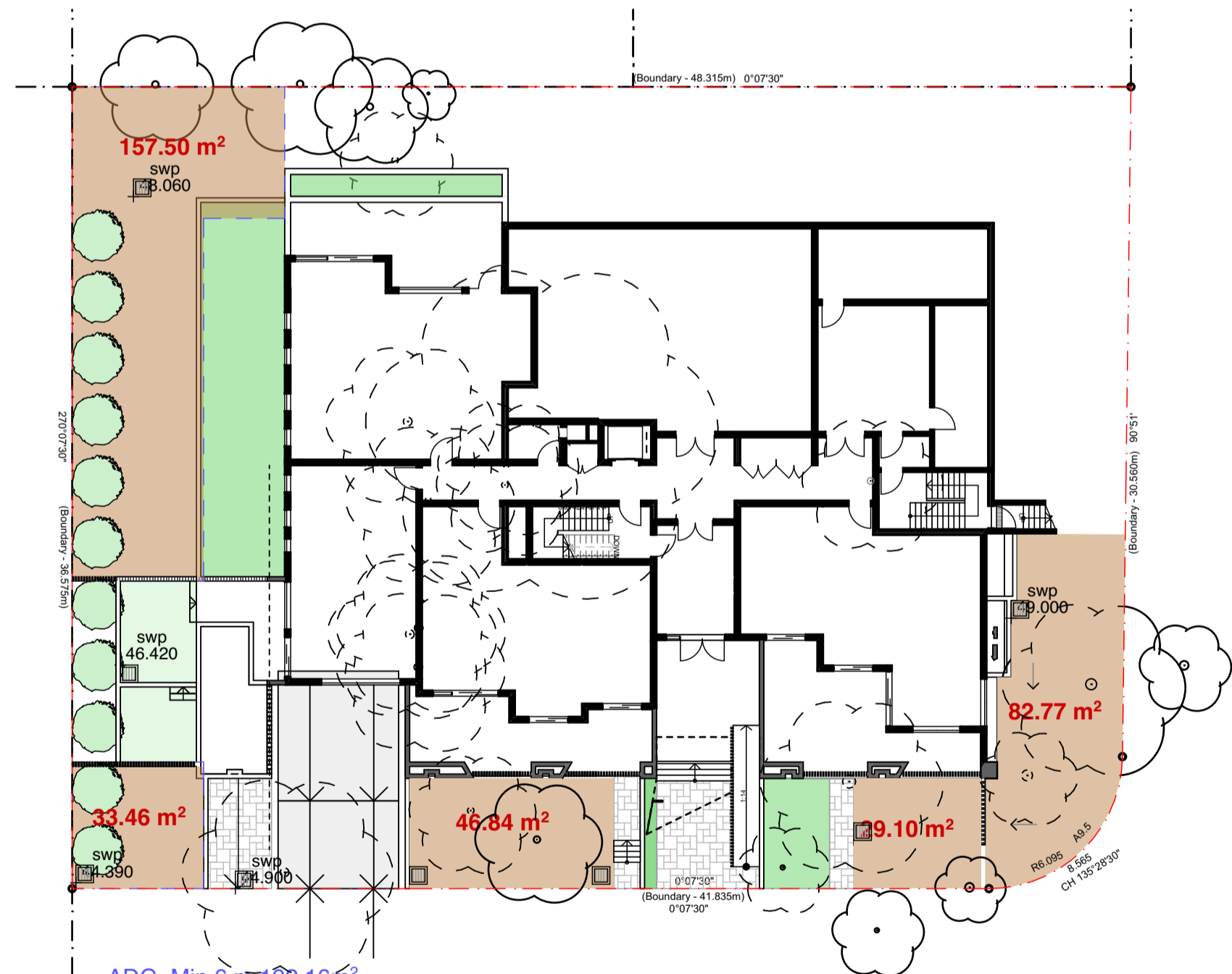
COS Area: 158.24 m²

02 Communal Open Space -Roof



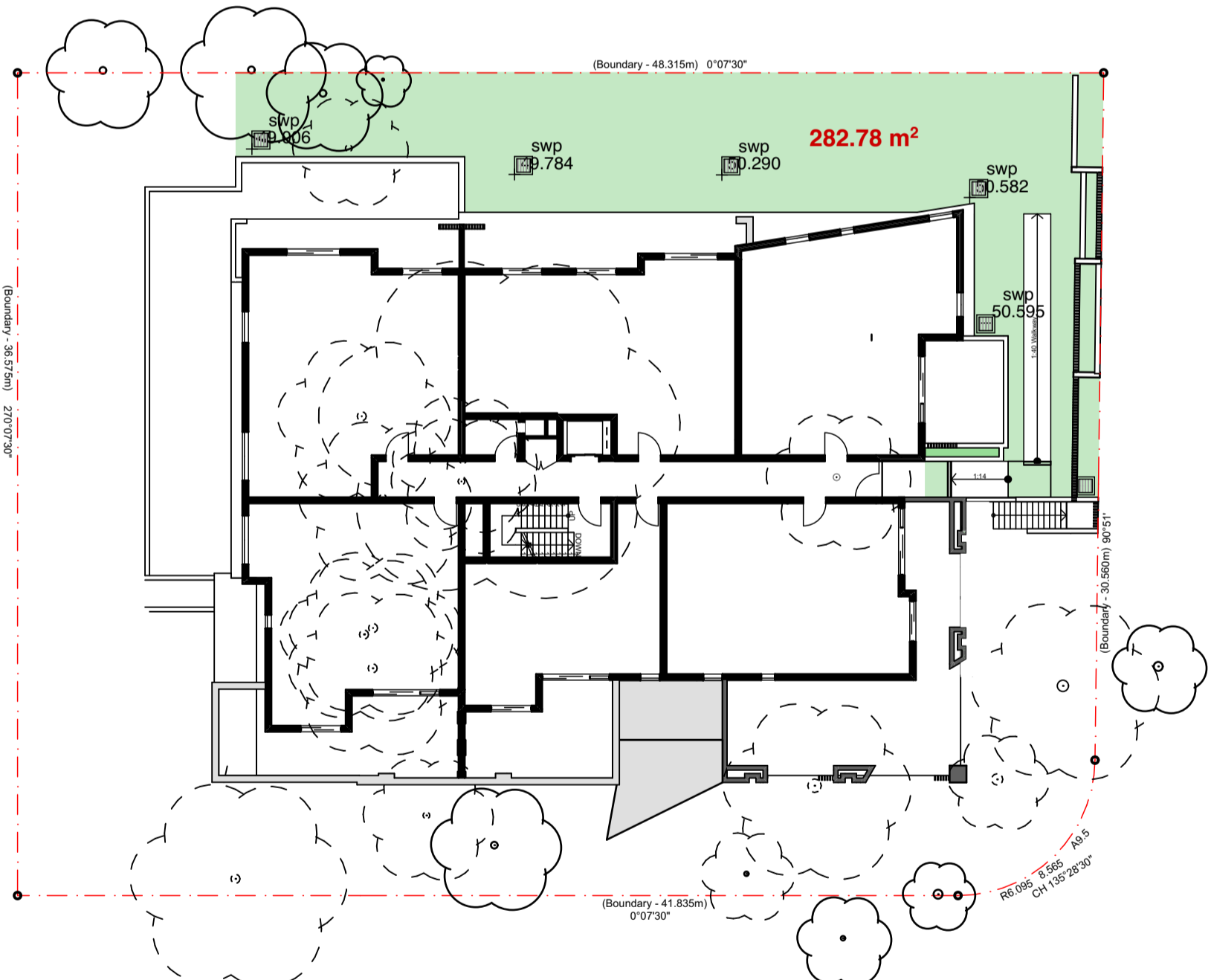
Landscape Area: 475.85 m²

01 Landscape Diagram - Level 0



ADG Min 6 m 192.46 m²  
Deep Soil Area: 349.67 m²

01 Deep Soil Diagram - Level 0



COS Area: 282.78 m²

01 Communal Open Space -Level 1

Landscape area

Requirement: minimum 40% of site area  
(i.e. 700 m²)

Proposed: 734.24 m² (i.e. 41.9 % of site area)

Deep Soil Area

DCP Requirement: minimum 25% of site area (i.e. 438 m²)  
ADG Requirement: minimum 7% of site area - 6m min. dim (i.e. 122.5 m²)

DCP proposed: 556.74 m² (i.e. 31.7 % of site area)  
ADG proposed: 359.95 m² (i.e. 20.5 % of site area)

Communal Open Space Area

Requirement: minimum 25% of site area  
(i.e. 438 m²)

Proposed: 441.02 m² (i.e. 25.18 % of site area)

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Scale: as noted @ A1

Project No:  
2088.16

Drawing No; Revision#;  
DA28 03

ADG Diagrams-Sheet 2



**01 Height Plane Diagram 1**  
not to scale



**02 Height Plane Diagram 2**  
not to scale

Rev	Issue	Date
01	Issue for Development Application	01/12/20
02	Revised DA	11/03/21
03	Revised DA - Council RFI	24/03/21




Mindarie Street & Pinaroo Place view



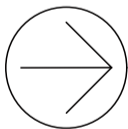
Mindarie Street & Pinaroo Place view

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Scale; 1:87.881, 1:111.185, 1:1.812,  
1:2.762 as noted @ AI

Project No;  
2088.16

Drawing No;      Revision#;  
DA30              03



Mindarie Street view



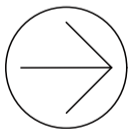
Mindarie Street view

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Checked; AT  
Plot date; 24/3/21

Scale; 1:79.639, 1:110.363 as noted @ AI

Project No;  
2088.16

Drawing No;	Revision#;
DA31	03



Pinaroo Place view



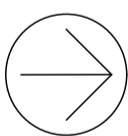
Pinaroo Place view

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Checked; AT  
Plot date; 24/3/21

Scale;1:108.200, 1:106.996 as noted @ AI

Project No;  
2088.16

Drawing No;	Revision#;
DA32	03



Rear Elevation view



Rear Elevation view

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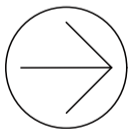
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Scale; 1:108.327, 1:108.020 as noted @ A1

Project No;  
2088.16

Drawing No; DA33  
Revision#; 03